



Stadler #

THE NEXUS

FINAL P&Z REVIEW

PROJECT SUMMARY:

Code: International Building Code 2006 Edition
 ADA 2010 Edition
 Construction Type: Type V - Group B
 Occupancy Classification: General Commercial
 Zoning: C-2
 Separations: Fire Sprinkler NFPA Type 13

Table 1004.2:
 Floor Area Allowance per Occupant:
 Business 100 Gross per Occupant
 10,144 divided 100 = 101 People

Parking:
 (36) 9 x 16 Spaces
 (4) 9 x 16 Compact Spaces
 (2) 11 x 16 H.C. Spaces
 (42) Total Parking Spaces

CURRENT PROJECT CALCULATIONS:

West Pod	
Ground	2,609 sq.ft.
Upper	1,747 sq.ft.
East Pod	
Ground	3,461 sq.ft.
Upper	2,327 sq.ft.
GROSS SQ. FT.	10,144 sq.ft.

MATERIAL SYMBOLS:

	EARTH		PLYWOOD
	POROUS FILL FOR DRAINAGE		FINISH WOOD
	STONE MASONRY		WOOD-ROUGH
	STRUCTURAL CONCRETE		BLOCKING
	CONCRETE MASONRY UNIT		GYPSUM BOARD
	BATT INSULATION		STEEL/METAL AS NOTED
	RIGID INSULATION		CARPET
	SPRAY FOAM INSULATION		
	BUILDING SECTION REFERENCE		ELEVATION REFERENCE
	DETAIL REFERENCE		DETAIL REFERENCE
	HEIGHT REFERENCE		SECTION REFERENCE
	REVISION REFERENCE		ROOM NAME
	GRID BUBBLE		ROOM NAME
	INTERIOR ELEVATION REFERENCE		WALL TYPE REFERENCE
	DOOR TAG		WINDOW TAG
			STN-TILE
			MATERIAL BREAK

ABBREVIATIONS:

ABV ABOVE	LOT LENGTH	L LIGHT AND DRAPERY TROUGH
AFF ABOVE FINISHED FLOOR	LT LIGHT TROUGH	LTL LINTEL
AP ACCESS PANEL	LVR LOUVER	MH MANHOLE
AC ACOUSTICAL	MFR MANUFACTURE (ER)	MO MASONRY OPENING
ADD ADDENDUM	MC MECHANIC (AL)	MTR MATERIAL
ADJ ADJACENT	MCB MEDICINE CABINET	MAX MAXIMUM
ALT ALTERNATE	MWB MEMBRANE	MECH MECHANIC (AL)
ALUM ALUMINUM	MET METAL	METER (S) METER (S)
ARCH ARCHITECT (URAL)	MIL MILLIMETER (S)	MIN MINIMUM
AWW ALL WEATHER WOOD	MIR MIRROR	MISC MISCELLANEOUS
BASMT BASEMENT	MIR MIRROR	MULL MULLION
BRG BEARING	MISC MISCELLANEOUS	NAT NATURAL
BVL BEVELED	MULL MULLION	NR NOISE REDUCTION
BIT BITUMINOUS	NAT NATURAL	NOM NOMINAL
BLK BLOCK	NR NOISE REDUCTION	NOT IN CONTRACT NOT TO SCALE
BLDG BLOCKING	OPG OPENING	OPP OPPOSITE
BOT BOTTOM	OPH OPPOSITE HAND	OSD OVERHEAD
BLDG BUILDING	OSD OPPOSITE SIDE	PAIR PAIR
CPT CARPET (ED)	PAIR PAIR	PARK PARKING
CSMT CASEMENT	PARK PARKING	PAINT PAINT
C CALK (NG)	PAINT PAINT	PL PLASTIC LAMINATE
CEG CERAMIC TILE	PL PLASTIC LAMINATE	PT POINT
CLR CLEAR	PT POINT	PSF POUNDS PER SQUARE FOOT
COL COLUMN	PSF POUNDS PER SQUARE FOOT	PSI POUNDS PER SQUARE INCH
CONC CONCRETE	PSI POUNDS PER SQUARE INCH	PL PROPERTY LINE
CMU CONCRETE MASONRY UNIT	PL PROPERTY LINE	QT QUARRY TILE
CONST CONSTRUCTION	QT QUARRY TILE	REF REFERENCE
CONT CONTINUOUS	REF REFERENCE	REFR REFRIGERATOR
CJT CONTROL JOINT	REFR REFRIGERATOR	REINFC (D), (NG) REINFORCE (D), (NG)
CPR COPPER	REINFC (D), (NG) REINFORCE (D), (NG)	REQD REQUIRED
CUST CUSTOM	REQD REQUIRED	RES RESIDENT
DT DRAPERY TROUGH	RES RESIDENT	REV REVERSE
DTL DETAIL	REV REVERSE	RH RIGHT HAND
DM DIMENSION	RH RIGHT HAND	R RISER
DR DOOR	R RISER	RAS ROD AND SHELF
DWG DRAWING	RAS ROD AND SHELF	RD ROOF DRAIN
DF DRINKING FOUNTAIN	RD ROOF DRAIN	ROF ROOFING
ELEC ELECTRIC (AL)	ROF ROOFING	RO ROUGH OPENING
EL ELEVATION (S)	RO ROUGH OPENING	RSV ROUGH SAWN
ELEV ELEVATOR	RSV ROUGH SAWN	SCA SEALANT (EXTERIOR)
EQ EQUAL	SCA SEALANT (EXTERIOR)	S SHEATHING
EXH EXHAUST	S SHEATHING	SM SHEET METAL
EXC EXISTING	SM SHEET METAL	SM SIMILAR
EXT EXTERIOR	SM SIMILAR	SC SOLID CORE
FOC FACE OF CONCRETE	SC SOLID CORE	SPC SPECIFICATION (S)
FOF FACE OF FINISH	SPC SPECIFICATION (S)	SO SQUARE
FOM FACE OF MASONRY	SO SQUARE	STD STANDARD
FOS FACE OF STUDS	STD STANDARD	STN STAIN
FF FINISHED FLOOR ELEVATION	STN STAIN	STL STEEL
FE FIRE EXTINGUISHER	STL STEEL	SD STORM DRAIN
FDC FIRE DEPARTMENT CONNECTION	SD STORM DRAIN	STR STRUCTURAL
FHC HOSE CONNECTION	STR STRUCTURAL	TEL TELEPHONE
FEC FIRE EXTINGUISHER CABINET	TEL TELEPHONE	TV TELEVISION
FPL FIREPLACE	TV TELEVISION	THR THRESHOLD
FP FIREPROOFING, SPRAYED	THR THRESHOLD	TAG TONGUE AND GROOVE
FLG FLASHING	TAG TONGUE AND GROOVE	TS TOP OF SLAB
FLR FLOOR (NG)	TS TOP OF SLAB	TSL TOP OF STEEL
FD FLOOR DRAIN	TSL TOP OF STEEL	TW TOP OF WALL
FTG FOOTING	TW TOP OF WALL	TD TOWEL BAR
FND FOUNDATION	TD TOWEL BAR	TR TRANSOM
FBO FURNISHED BY OTHERS	TR TRANSOM	T TREAD
FPHB FREEZE PROOF HOSE BIB	T TREAD	TYP TYPICAL
FUR FURRED (NG)	TYP TYPICAL	UNO UNLESS NOTED OTHERWISE
GA GAGE, GAUGE	UNO UNLESS NOTED OTHERWISE	VB VAPOR BARRIER
GV GALVANIZED	VB VAPOR BARRIER	VF VERIFY IN FIELD
GC GENERAL CONTRACT (OR)	VF VERIFY IN FIELD	VERT VERTICAL
GL GLASS, GLAZING	VERT VERTICAL	VCT VINYL COMPOSITION
GYP BO GYPSUM BOARD	VCT VINYL COMPOSITION	WC WATER CLOSET
HB HOSE BIB	WC WATER CLOSET	WP WATER PROOFING
HDR HARDWARE	WP WATER PROOFING	WFB WELDED WIRE FABRIC
HDR HEADER	WFB WELDED WIRE FABRIC	WOTL WOTL
HTG HEATING	WOTL WOTL	W WINDOW
HVAC HEATING/VENTILATING/AC	W WINDOW	WO WITHOUT
HT HEIGHT	WO WITHOUT	WD WOOD
HC HOLLOW CORE	WD WOOD	
HM HOLLOW METAL		
HOR HORIZONTAL		
HWH HOT WATER HEATER		
INCL INCLUDE (D), (NG)		
ID INSIDE DIAMETER		
IBC INSTALLED BY CONTRACTOR		
IBO INSTALLED BY OWNER		
INS INSULATE (D), (ON)		
INT INTERIOR		
JC JANITOR'S CLOSET		
KIT KITCHEN		
LAM LAMINATE (D)		
LAV LAVATORY		
LH LEFT HAND		

GENERAL NOTES:

- DO NOT SCALE DRAWINGS
- VERIFY ALL DIMENSIONS, CONDITIONS AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.
- AREAS OF CONFLICTS OR DISCREPANCIES MUST BE FULLY RESOLVED WITH WRITTEN APPROVAL FROM THE ARCHITECT BEFORE CONSTRUCTION CONTINUES IN THOSE AREAS.
- PLAN DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED. SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.
- PROVIDE ALL NECESSARY BLOCKING IN STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO CEILING AND WALL MOUNTED FIXTURES, TOILETS, TOILET ACCESSORIES, CABINETRY, COUNTERTOPS, SHELVES AND CLOSET RODS.
- DENOTES DOORS. REFER TO FLOOR PLANS FOR LOCATIONS. REFER TO DOOR SCHEDULE FOR DOOR TYPES.
- DENOTES WINDOWS. REFER TO WINDOWS AND FLOOR PLANS FOR LOCATIONS. REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.
- COORDINATE ALL ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING, FLOOR AND WALLS SPACES. VERIFY LOCATIONS WITH ARCHITECT.
- IN THE EVENT THAT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECTS OF THIS PROJECT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE AMPLE NOTICE SHALL RELIEVE ARCHITECT OF RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, 2003 EDITION. CODE COMPLIANCE IS MANDATORY. THE CONSTRUCTION DOCUMENTS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO ALL RELEVANT CODES INCLUDING IRC AND ALL LOCAL AND REGIONAL CODES.
- THE CONTRACTOR SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM THE ARCHITECT & ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE OUT THE BUILDING FOOTPRINT FOR OWNER AND ARCHITECT APPROVAL PRIOR TO BEGINNING ANY SITE WORK.
- IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.
- ALL BUILDINGS TO FIT WITHIN PROPERTY LINES WITHOUT CROSSING EASEMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DRAWING INDEX: ARCHITECTURAL

- A0.0 TITLE PAGE
- A1.0 SITE PLAN
- SURVEY - LEGAL
- L1.0 LANDSCAPE PLAN
- A2.0 GROUND LEVEL PLAN
- A2.1 UPPER LEVEL PLAN
- A2.2 ROOF
- A3.0 ELEVATIONS
- A3.1 ELEVATIONS
- A6.0 BLDG SIGNS
- A6.1 SIGNS - WATER FEATURE - TRASH

DRAWING INDEX: CIVIL

- C1 DRAINAGE AND GRADING

DRAWING INDEX: ELECTRICAL

- E1.0 ELECTRICAL COVER
- E1.2 SITE ELECTRICAL AND LIGHTING
- E1.3 GROUND LEVEL ELECT. & LIGHTING
- E1.4 UPPER LEVEL ELECT. & LIGHTING

DRAWING INDEX: STRUCTURAL

ARCHITECT:

VALDEZ ARCHITECTS P.C.
 180 MANZANITA DRIVE
 SEDONA AZ. 86336
 928.239.2189 office
 CONTACT: FREDERICO VALDEZ, III ARCHITECT

STRUCTURAL/CIVIL ENGINEER:

BRENT MAUPIN
 P.O. BOX 21032
 SEDONA, AZ
 1.928.300.4822

ELECTRICAL ENGINEER

ELECTRICAL DESIGN & CADD SERVICES
 1600 LAMB LANE
 PRESCOTT, AZ 86305
 928.776.4900 OFFICE
 CONTACT: RALPH ARCHIBEQUE

MECHANICAL ENGINEER

CASE ENGINEERING INC.
 2205 NORTH CRESCENT DR.
 FLAGSTAFF, AZ 86001
 928.214.0483 OFFICE
 CONTACT: DICK CASE

GENERAL CONTRACTOR:

MILLAR CONSTRUCTION INC.
 P.O. BOX 3897
 SEDONA AZ 86340
 928.300.3009 OFFICE
 CONTACT: PAUL MILLAR



REVISIONS

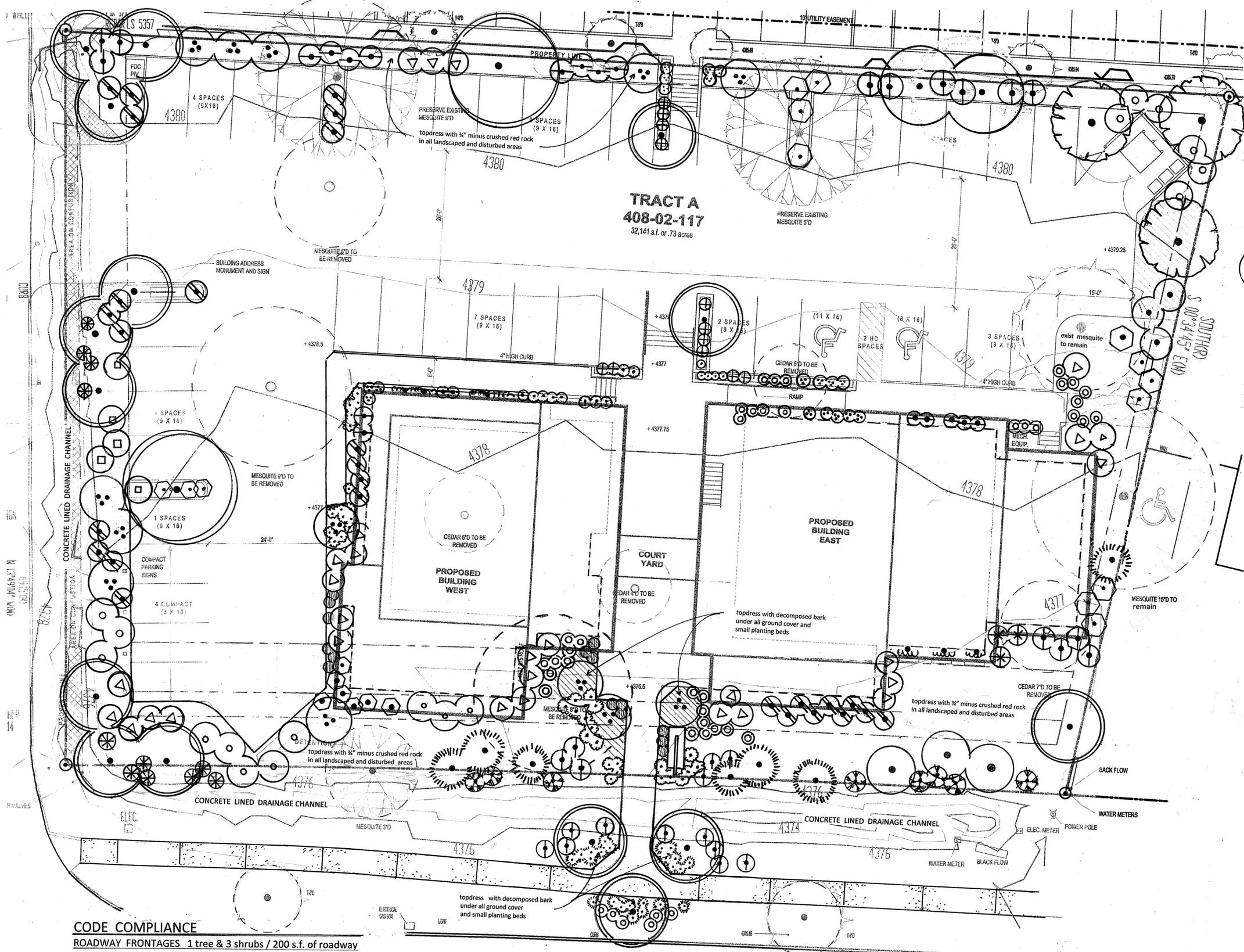
NO.	DATE	REVISIONS
1	10/23/14	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
2	12/11/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
3	2/03/15	CITY OF SEDONA FINAL REVIEW SUBMITTAL

NEXUS

TRACT A ROADRUNNER RANCO
 PARCEL 408.02.117

COVER

VALDEZ ARCHITECTURE - INTERIORS
 180 MANZANITA DRIVE - SEDONA AZ 86336 928.213.2189



LANDSCAPE LEGEND / LIST

NOTE: NATIVE PLANTS ARE INDICATED BY UNDERLINE

symbol	botanical name	common name	size	quan
CONIFEROUS TREES				
	<u>CUPRESSUS ARIZONICA</u>	ARIZONA CYPRESS	24" B	3
	<u>PINUS EDULIS</u>	PINON PINE		7
DECIDUOUS SHADE TREES				
	<u>FRAXINUS VELUTINA</u>	ARIZONA ASH		2
	<u>PYRUS CALLERYANA</u>	FLOWERING PEAR		2
ACCENT / FLOWERING TREES				
	<u>CHILOPSIS LINEARIS</u>	DESERT WILLOW		3
	<u>PHOTINIA FRASERII</u>	PHOTINIA TREE		15
	<u>SOPHORA SECUNDIFLORA</u>	TEXAS MOUNTAIN LAUREL		12
LARGE EVERGREEN SHRUBS				
	<u>COTONEASTER LACTEUS</u>	CLUSTERBERRY	5 G	17
	<u>LEUCOPHYLLUM FRUTESCENS</u>	TEXAS RANGER		29
	<u>PHOTINIA FRASERII</u>	PHOTINIA		3
SMALL - MEDIUM EVERGREEN SHRUBS				
	<u>ARCTOSTAPHYLLUS PUNGENS</u>	LOCAL MANZANITA		21
	<u>BERBERIS THUNBERGIANA</u> h.v. "Crimson Pygmy"	DWARF BARBERRY		42
	<u>CERATOIDEES LANATA</u>	WINTERFAT		24
	<u>CERCOCARPUS MONTANUS</u>	MOUNTAIN MAHOGANY		19
	<u>GARRYA WRIGHTII</u>	WRIGHTS SILKTASSLE		5
	<u>NANDINA DOMESTICA</u>	HEAVENLY BAMBOO		18
	<u>RHAPHIOLEPIS INDICA</u>	INDIA HAWTHORN		26
ACCENT - UNDERSTORY - GROUND COVER				
	<u>CAESALPINIA GILLIESII</u>	MEXICAN BIRD OF PARADISE		3
	<u>LAVANDULA STOECHAS</u>	LAVANDER		15
	<u>NOLINA MICROCARPA</u>	BEARGRASS		12
	<u>STIPA TENUISSIMA</u>	MEXICAN FEATHER GRASS		3
	<u>FOUQUIERIA SPLENDENS</u>	OCOTILLO		3
	<u>CHRYSACTINIA MEXICANA</u>	DAMIANITA	1 - GAL	15
	<u>POTENTILLA</u>	CINQUEFOIL		23
	<u>SALVIA CLEVELANDII</u>	SALVIA		45
	<u>MAHONIA REPENS</u>	CREeping MAHONIS	FLATS	T.B.O.
	<u>TEUCRIUM CHAMAEDRYS</u>	GERMANDER		
	<u>VINCA MINOR</u>	COMMON MYRTLE		
VINES				
	<u>LONICERA JAPONICA</u>	HALLS HONEYSUCKLE	5 - GAL	7
	<u>TRACHELOSPERMUM</u>	STAR JASMINE		

TOPDRESSING
 As noted MIN. 1" DEEP DECOMPOSED BARK MULCH UNDER ALL GROUND COVER AND IN SMALL PLANTING BEDS
 As noted MIN. 1 1/2" DEEP CRUSHED RED ROCK (3/4" minus) OVER BALANCE OF LANDSCAPE AND DISTURBED AREAS

GENERAL NOTES

- ALL PLANT MATERIAL WILL BE SERVED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM THAT MAY BE DE-ACTIVATED AFTER 5 YEARS
- LIMITED SUBSTITUTIONS OF PLANT SELECTIONS AND REVISIONS TO LOCATIONS MAY OCCUR PRIOR TO COMPLETION OF THE FINAL LANDSCAPE CONSTRUCTION PLAN AS A RESULT OF REVISIONS TO THE SITE / BUILDING DESIGN AND/OR AVAILABILITY OF PLANT MATERIAL
- ALL LANDSCAPED AND DISTURBED AREAS WILL BE TOP-DRESSED WITH BARK MULCH AND/OR CRUSHED RED ROCK

CODE COMPLIANCE

ROADWAY FRONTAGES 1 tree & 3 shrubs / 200 s.f. of roadway
 - U.S. 89A 220 l.f. 2,200 s.f.
 trees: 11 required 13 proposed
 shrubs: 33 required 36 proposed

ROADRUNNER 150 l.f. 1,500 s.f.
 trees: 8 required 10 proposed
 shrub: 24 required 26 proposed

PARKING AREA

PENINSULA'S (4) 1 tree and 3 shrubs / penninsula
 trees: 4 required 2 existing 2 proposed
 shrubs: 12 required 16 proposed

SPACES ADJOINING PRIVATE PROPERTY (19)
 2 15-gal trees and 5 shrubs per 4 spaces
 trees: 10 required 11 proposed
 shrubs: 25 required 28 proposed

BUILDING FOOTPRINT (10,144 s.f.) 1-24" box tree / 500 s.f.
 trees: 20 reqrd. exist: 2 @ 37" dbh = 18-24" box trees net reqrd: 2 proposed: 20

EXISTING TREE STATUS
 cedar/juniper (4) remove 4 remain 0
 mesquite (7) remove 3 remain 4

NATIVE - ADAPTIVE USAGE

TREES 50% must be evergreen
 37 trees of the total 44 are evergreen for 84%

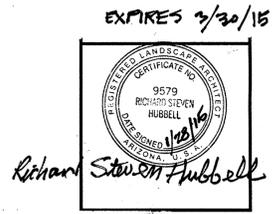
EVERGREEN TREES 50% must be native
 22 trees of the total 37 are native for 59%

SHRUBS 25% of shrubs must be native evergreen
 90 shrubs of the total 321 are native evergreen for 28%

LANDSCAPE PLAN

SCALE: 1" = 10'

Prepared by:
RICHARD HUBBELL & ASSOCIATES
 landscape architects - land planners
 P. O. BOX 1151, SEDONA, ARIZONA 86339
 928 - 282-9477 300 - 6552



RESULTS OF BOUNDARY & TOPOGRAPHICAL SURVEY TRACT A ROADRUNNER RANCHO

(R)=RECORD; BK. 13 OF MAPS,
PG. 24
(R1)=ADOT
(M)=MEASURED
(C)=CALCULATED
(P.S.)=PREVIOUS SURVEY

SCALE: 1"=20'
DATE: 10/07/2014
REVISED 10/08/2014 FOR SIDEWALK
REVISED 12/04/2014 FOR MORE DETAIL
REVISED 12/09/2014 FOR MORE DETAIL

MAJOR CONTOURS=2'
MINOR CONTOURS=1'
ELEVATIONS ARE TIED TO THE CITY OF SEDONA B.M. #7 1988 DATUM

TRACT A ROADRUNNER RANCHO DOES NOT MATHEMATICALLY CLOSE. IT IS UNCERTAIN WHERE THE ERROR IS.

AREA OF CONFUSION NOTE: THIS AREA IS CREATED BY THE ADOT MONUMENTATION OF ROADRUNNER ROAD BY AZTEC ENGINEERING IS 42014 AND THE EARLIER CORNERS SET BY VANCE McDONALD FOR THE RIGHT-OF-WAY OF ROADRUNNER ROAD.

POINT 'A' WAS DETERMINED BY INTERSECTING THE MEASURED LINES BETWEEN THE FOUND MONUMENTS SET BY VANCE McDONALD (L.S. 3157) AND THE ADOT MONUMENTS SET BY AZTEC ENGINEERING, IS 42014.

THIS PLAT IS SUBJECT TO ALL CONDITIONS, RESERVATIONS, AND OTHER ITEMS OF PUBLIC RECORD ON THIS 9th DAY OF DECEMBER, 2014.

THIS PLAT DOES NOT PURPORT TO VERIFY THE OWNERSHIP OF ANY PROPERTY SHOWN OR INVOLVED IN THIS SURVEY. ANY EASEMENTS OR OTHER ENCUMBRANCES SHOULD BE DETERMINED BY A TITLE SEARCH.

ONLY THOSE EASEMENTS SHOWN ON THE RECORDED PLAT ARE SHOWN HERE, ANY OTHERS SHOULD BE DETERMINED BY A TITLE SEARCH.

SURVEYOR'S CERTIFICATE:

THIS RESULTS OF SURVEY MAP AND THE FIELD SURVEY ON WHICH IT IS BASED WERE CONDUCTED DURING THE MONTH OF OCTOBER & DECEMBER, 2014, UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE STANDARDS GOVERNING THE CREATION OF LAND SURVEY BOUNDARIES WITHIN THE STATE OF ARIZONA AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SURVEYOR'S NOTES:

1. THE WORD CERTIFY AS SHOWN OR USED HEREON MEANS AN EXPRESSION OR PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
2. THE INTENT OF THIS SURVEY IS TO VERIFY THE BOUNDARIES AND PROVIDE A TOPOGRAPHICAL SURVEY OF THE REFERENCED PROPERTY.
3. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

NOTE: TREES AS SHOWN ON THIS PLAT AND ACCOMPANYING DIGITIZED FILE ARE FOR GRAPHIC REFERENCE. CANOPY DISTANCES ARE AVERAGED FOR EACH TREE. PLEASE NOTIFY SURVEYOR FOR SPECIFIC TREE LOCATION OF ANY TREE FOR CONSTRUCTION PURPOSES AT NO ADDITIONAL CHARGE.

SCOPE OF SERVICES

THE SERVICE PROVIDED IN THIS TOPOGRAPHIC SURVEY INCLUDES THE FOLLOWING:
1. LOCATING EXISTING BOUNDARY MONUMENTS.
2. SHOWING ON THIS PLAT CERTAIN EASEMENTS. SEE NOTE.
3. SHOWING VISIBLE UTILITIES.
4. SHOWING CONTOUR INTERVALS OF PARCEL.

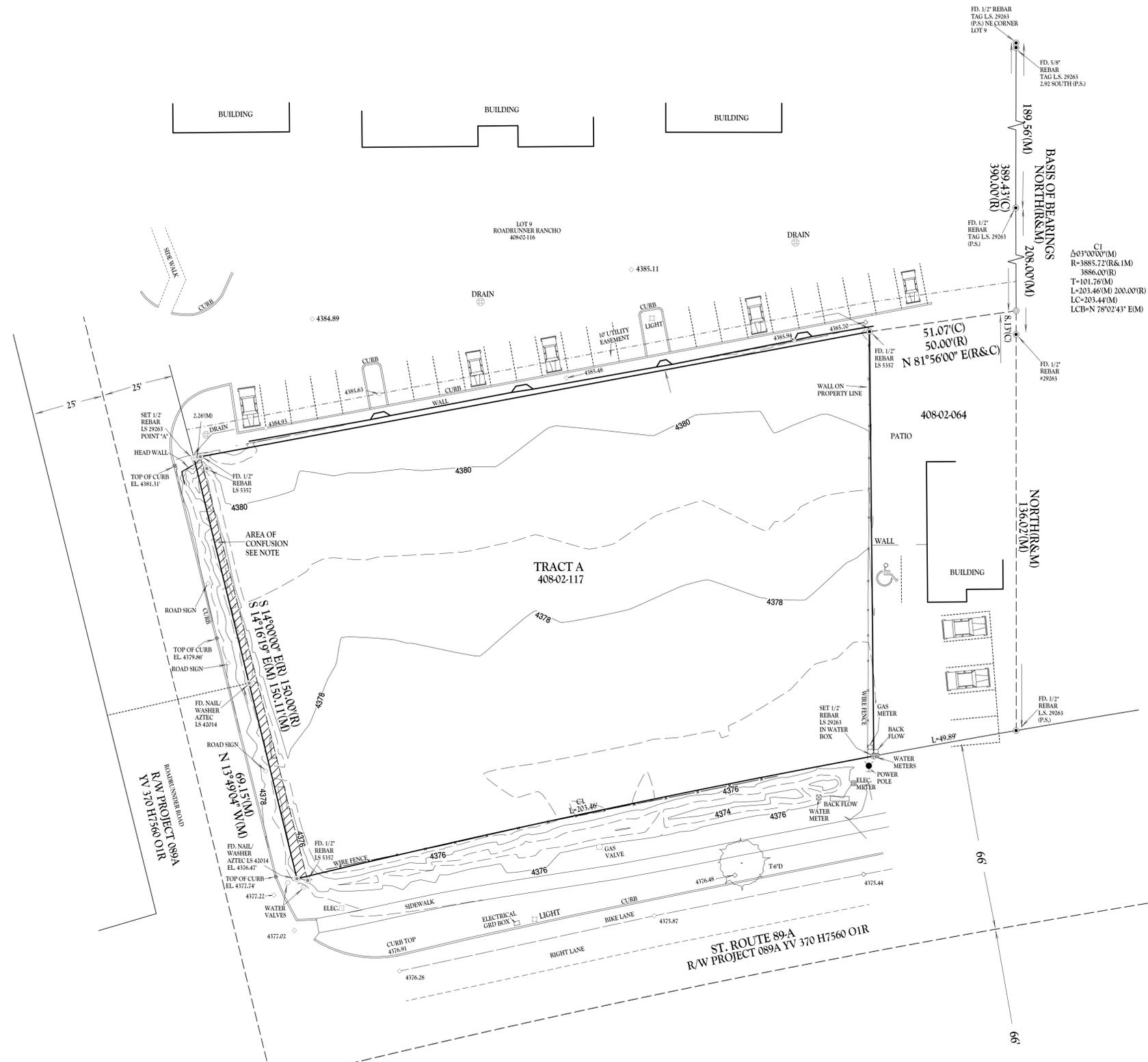
ACCEPTANCE OF THIS PLAT SIGNIFIES THE ACCEPTANCE OF THESE SERVICES.

THIS MAP WAS PREPARED FOR A SPECIFIC PURPOSE PURSUANT TO AN AGREEMENT WITH THE CLIENT. ONLY THOSE EASEMENTS INDICATED ON THE ORIGINAL RECORDED SUBDIVISION PLAT ARE INDICATED ON THIS PLAT. NO ATTEMPT WAS MADE BY THIS SURVEYOR OR HAMMES SURVEYING LLC TO DETERMINE IF ANY ADDITIONAL EASEMENTS OR ENCUMBRANCES EXIST. THEREFORE, A TITLE SEARCH WOULD BE NECESSARY TO DETERMINE IF ADDITIONAL EASEMENTS AND ENCUMBRANCES, IF ANY, MAY AFFECT THE SUBJECT PROPERTY. THIS SURVEYOR AND HAMMES SURVEYING LLC WILL NOT ACCEPT ANY LIABILITY FOR LOSS OR DAMAGES DUE TO ANY EASEMENTS, ENCUMBRANCES, SUBSURFACE CONDITIONS, STRUCTURES AND OR UTILITIES NOT INDICATED ON THIS PLAT.

SCOPE OF SERVICES

THE SERVICE PROVIDED IN THIS BOUNDARY SURVEY INCLUDES THE FOLLOWING:
1. LOCATING EXISTING BOUNDARY MONUMENTS AND REPLACING MISSING MONUMENTS ON SUBJECT PROPERTY.
2. SHOWING EXISTING MONUMENTS USED TO DETERMINE POSITION OF MONUMENTS ON SUBJECT PROPERTY.
3. SHOWING ON THIS PLAT CERTAIN EASEMENTS. SEE NOTE.
4. SHOWING VISIBLE ENCUMBRANCES THAT AFFECT SUBJECT PROPERTY.

ACCEPTANCE OF THIS PLAT SIGNIFIES THE ACCEPTANCE OF THESE SERVICES.



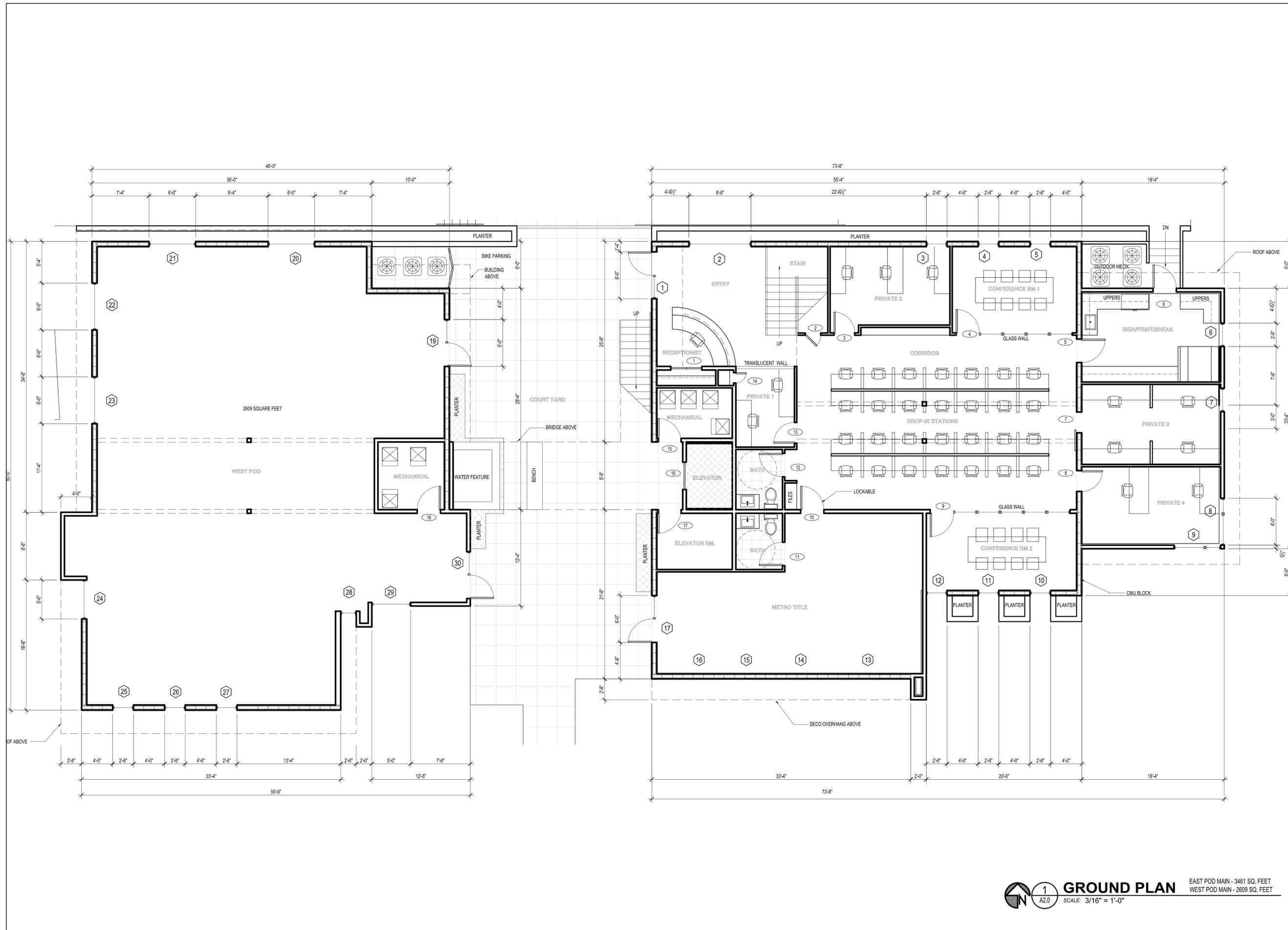
C1
Δ03°00'00"(M)
R=385.72(R&M)
3886.00'(R)
T=101.76'(M)
L=203.46'(M) 200.00'(R)
LC=203.44'(M)
LCB=N 79°54'48" E(M)

C2
Δ30°44'08"(M)
R=385.72(R1&M)
T=24.95'(M)
L=49.89'(M)
LC=49.89'(M)
LCB=N 79°54'48" E(M)



12/09/2014
EXPIRES 6/30/2016

HAMMES SURVEYING LLC
2100 VIA SILVERADO
CAMP VERDE, AZ. 86322
(928) 282-5686 (928) 567-2833

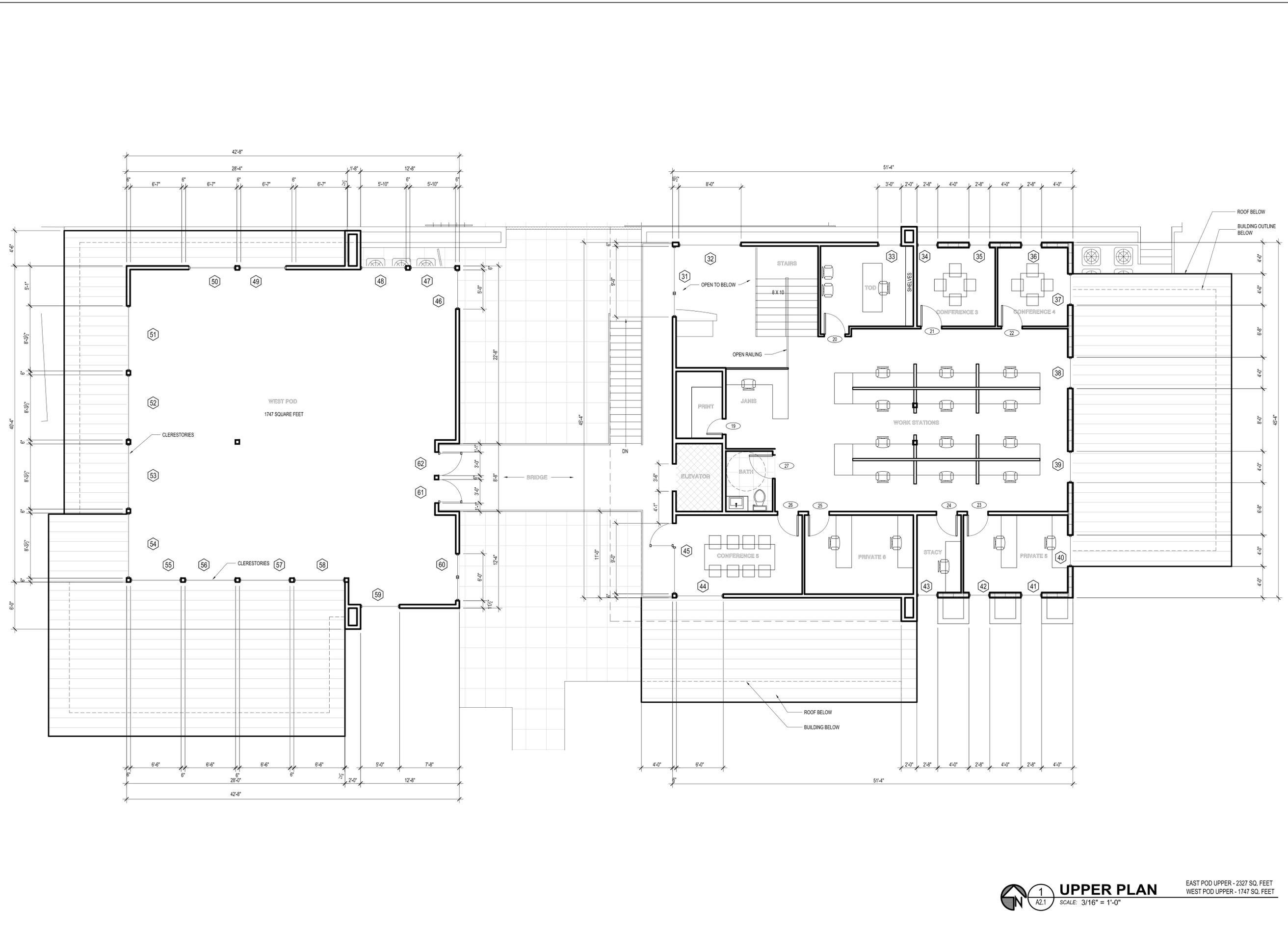



1 GROUND PLAN EAST POD MAIN - 3461 SQ. FEET
 A2.0 SCALE: 3/16" = 1'-0" WEST POD MAIN - 2609 SQ. FEET

REVISIONS	REMARKS
MIDDAY	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
10/23/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
12/11/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
2/6/15	CITY OF SEDONA FINAL REVIEW SUBMITTAL

NEXUS
 TRACT A ROADRUNNER RANCHO
 PARCEL 408.02.117

GROUND PLAN
 VALDEZ ARCHITECTURE - INTERIORS
 180 MANZANITA DRIVE - SEDONA, AZ 86336 928.213.2189



1
A2.1
UPPER PLAN
SCALE: 3/16" = 1'-0"

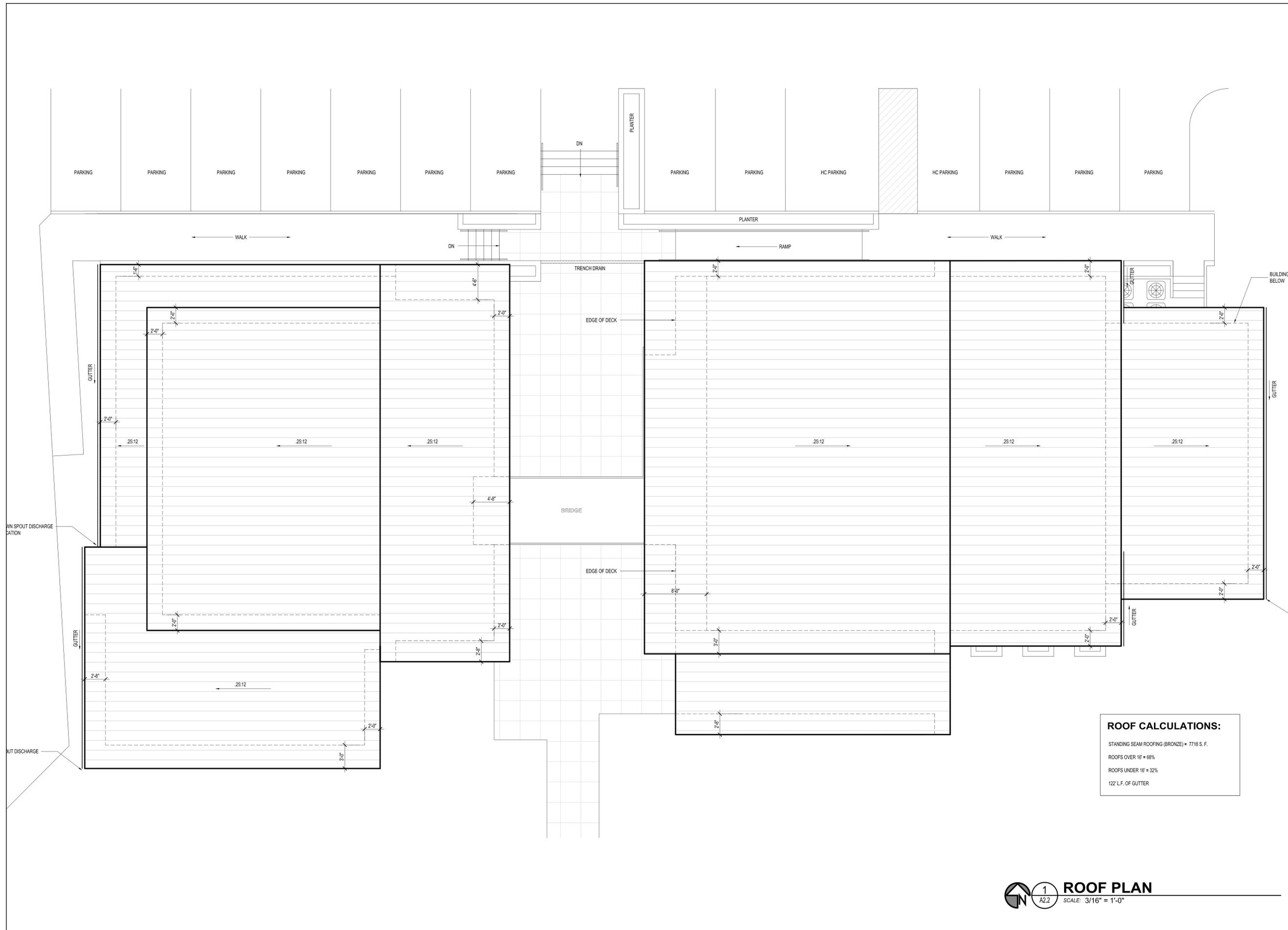
EAST POD UPPER - 2327 SQ. FEET
WEST POD UPPER - 1747 SQ. FEET

REVISIONS	REMARKS
MIMDDY	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
10/23/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
2/8/15	CITY OF SEDONA FINAL REVIEW SUBMITTAL

NEXUS
TRACT A ROADRUNNER RANCO
PARCEL 408.02.117

UPPER PLAN
VALDEZ ARCHITECTURE - INTERIORS
180 MANZANITA DRIVE - SEDONA AZ 86336 928.213.2189

A2.1

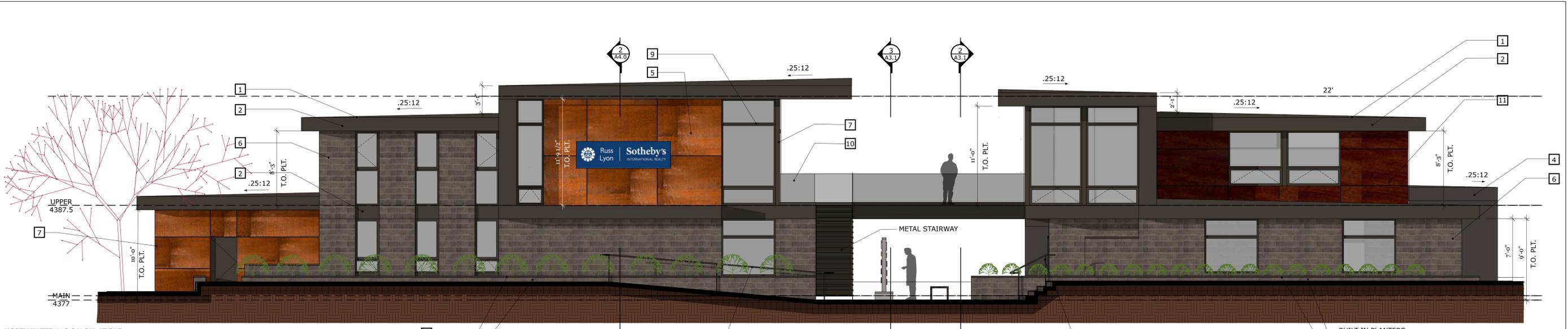


ROOF CALCULATIONS:
 STANDING SEAM ROOFING (BRONZE) = 7718 S. F.
 ROOFS OVER 16° = 68%
 ROOFS UNDER 16° = 32%
 122' L.F. OF GUTTER

REVISIONS	REMARKS
MIMDDYY	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
10/23/14	CITY OF SEDONA CONCEPTUAL REVIEW SHEETING
2/8/15	CITY OF SEDONA FINAL REVIEW SUBMITTAL

NEXUS
 TRACT A ROADRUNNER RANCO
 PARCEL 408.02.117

ROOF PLAN
 VALDEZ ARCHITECTURE - INTERIORS
 180 MANZANITA DRIVE - SEDONA, AZ 86336 928.213.2189



1 NORTH ELEVATION
 A3.0 3/16" = 1'-0"

4 35 S.F.
 5 392 S.F.
 6 1134 S.F.
 11 111 S.F.



2 SOUTH ELEVATION
 A3.0 3/16" = 1'-0"

4 35 S.F.
 5 418 S.F.
 6 887 S.F.
 11 310 S.F.



3 WEST ELEVATION
 A3.0 3/16" = 1'-0"

4 322 S.F.
 6 413 S.F.
 11 203 S.F.

EXTERIOR MATERIALS LEGEND:

1 ROOF: STANDING SEAM METAL ROOFING (BRONZE)	7 TRIM DETAILS: L-METAL TRIM AT CORNER WINDOWS (BRONZE)
2 FLAT STOCK METAL FASCIA OR METAL FILL (BRONZE)	8 1X1 L METAL AT OUTSIDE CORNERS OF SOFFIT PANELS (BRONZE)
3 METAL COPING CAP (BRONZE)	9 WINDOWS: METAL STOREFRONT (BRONZE)
4 WALL MATERIALS: METAL SOFFIT PANELS 1 X 12 (BRONZE)	10 RAILINGS: GLASS RAILINGS WITH STANDOFF
5 RUSTY METAL WALL PANELS - SEE ELEVATIONS FOR SIZE AS THEY VARY	
6 COLORED CMU BLOCK WITH DEEP GROUT LINES	
11 PARKLEX WALL PANEL	

REVISIONS

MM/DD/YY	REVISIONS
10/03/14	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
12/11/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
2/26/15	CITY OF SEDONA FINAL REVIEW SUBMITTAL

NEXUS
 TRACT A ROADRUNNER RANCHO
 PARCEL 408.02.117

ELEVATIONS
 VALDEZ ARCHITECTURE - INTERIORS
 180 MANZANITA DR. SEDONA AZ 86336

A3.0



1 EAST ELEVATION
A3.1 3/16" = 1'-0"

EAST MATERIALS CALCULATIONS:
 4 708 S.F.
 6 594 S.F.



2 COURTYARD EAST
A3.1 3/16" = 1'-0"

CY EAST MATERIALS CALCULATIONS:
 4 289 S.F.
 5 400 S.F.
 11 192 S.F.



3 COURTYARD WEST
A3.1 3/16" = 1'-0"

CY WEST MATERIALS CALCULATIONS:
 4 288 S.F.
 5 167 S.F.
 6 329 S.F.

EXTERIOR MATERIALS LEGEND:

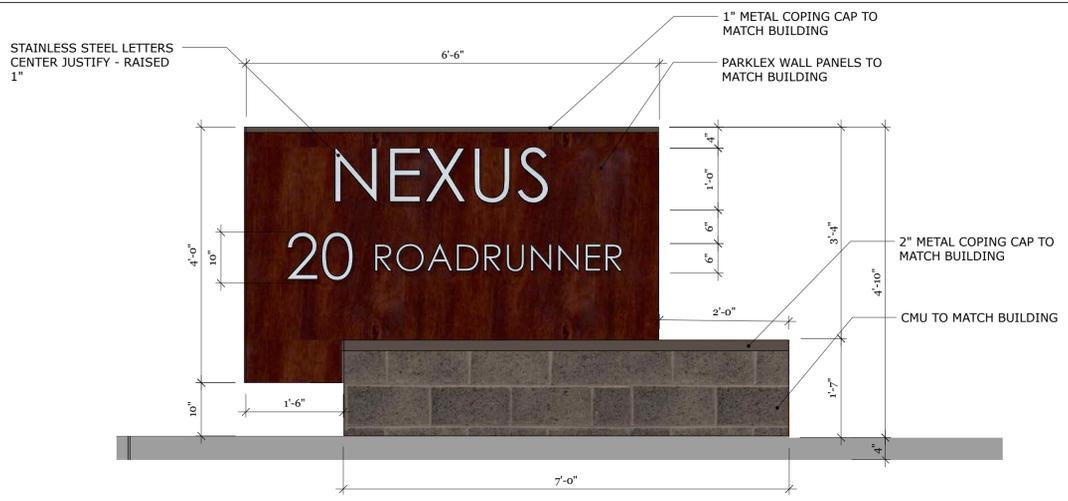
1 ROOF: STANDING SEAM METAL ROOFING (BRONZE)	7 TRIM DETAILS: L-METAL TRIM AT CORNER WINDOWS (BRONZE)
2 FLAT STOCK METAL FASCIA OR METAL FILL (BRONZE)	8 1X1 L METAL AT OUTSIDE CORNERS OF SOFFIT PANELS (BRONZE)
3 METAL COPING CAP (BRONZE)	9 WINDOWS: METAL STOREFRONT (BRONZE)
4 WALL MATERIALS: METAL SOFFIT PANELS 1 X 12 (BRONZE)	10 RAILINGS: GLASS RAILINGS WITH STANDOFF
5 RUSTY METAL WALL PANELS - SEE ELEVATIONS FOR SIZE AS THEY VARY	
6 COLORED CMU BLOCK WITH DEEP GROUT LINES	
11 PARKLEX WALL PANEL	

REVISIONS

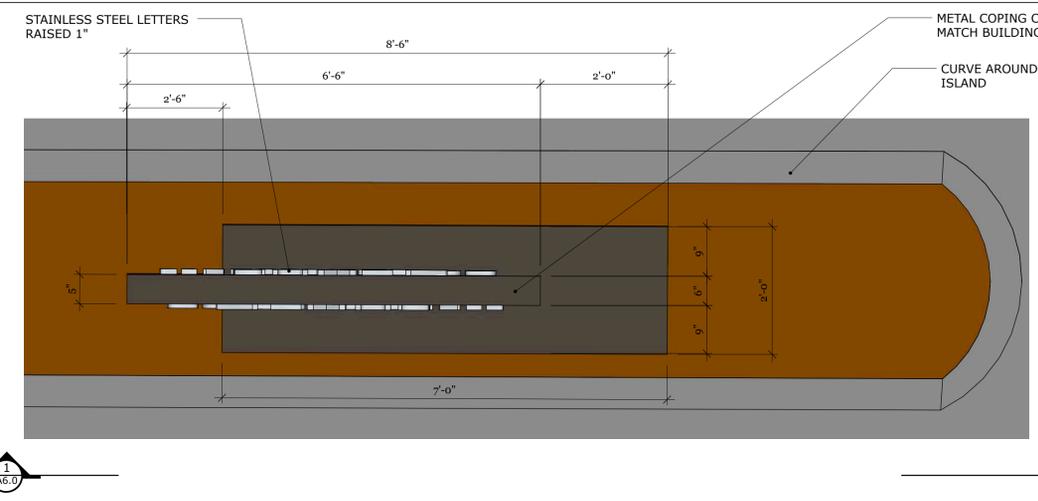
MM/DD/YY	REVISIONS
10/23/14	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
12/11/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
2/26/15	CITY OF SEDONA FINAL REVIEW SUBMITTAL

NEXUS
 TRACT A ROADRUNNER RANCHO
 PARCEL 408.02.117

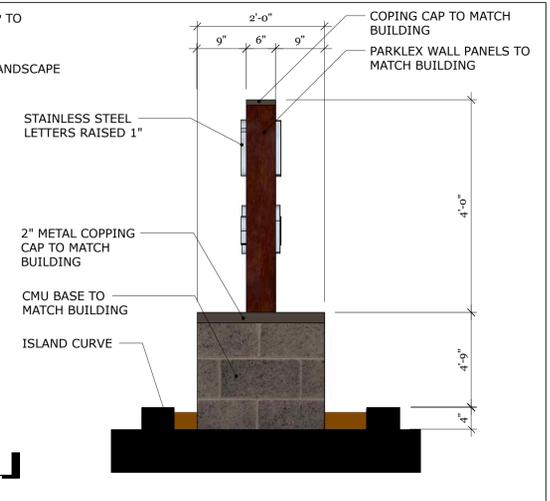
ELEVATIONS
 VALDEZ ARCHITECTURE - INTERIORS
 180 MANZANITA DR. SEDONA AZ 86336



1 BUILDING MONUMENT (SOUTH ELEVATION)
A6.0 3/4" = 1'-0"



2 BUILDING MONUMENT (PLAN)
A6.0 3/4" = 1'-0"



3 BUILDING MONUMENT (WEST ELEVATION)
A6.0 3/4" = 1'-0"



4 TENANT SIGNS ON BUILDING (SOUTH)
A6.0 3/4" = 1'-0"

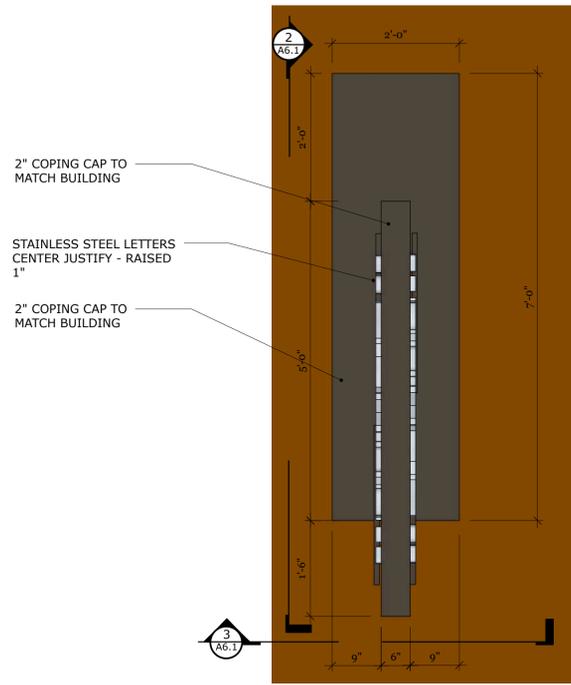


5 TENANT SIGNS ON BUILDING (NORTH)
A6.0 3/4" = 1'-0"

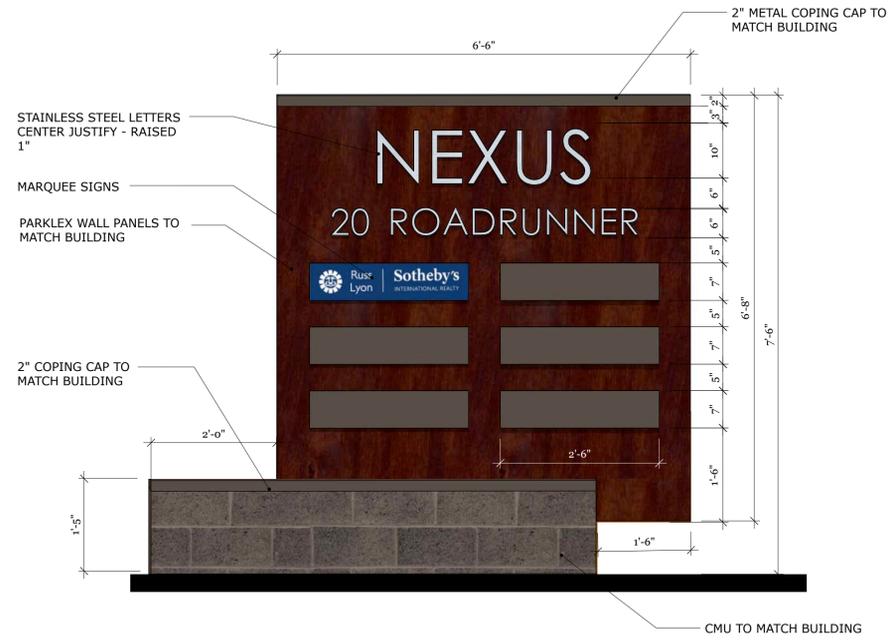
MM/DD/YY	REVISIONS	REMARKS
10/23/14	1	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
12/11/14	2	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
2/03/15	3	CITY OF SEDONA FINAL REVIEW SUBMITTAL
	4	
	5	

NEXUS
TRACT A ROADRUNNER RANCHO
PARCEL 408.02.117

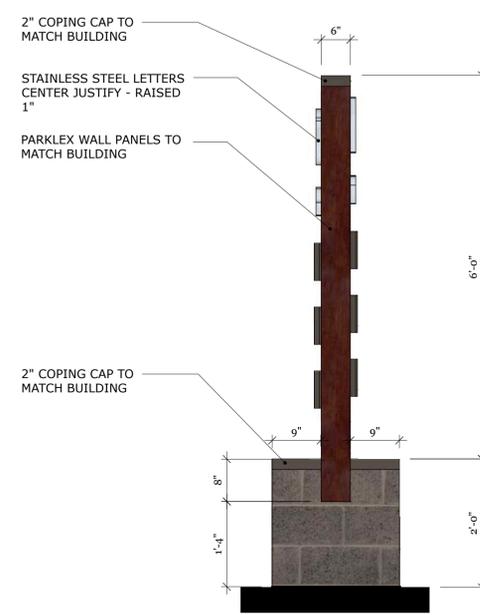
BLG. SIGN DTLS.
VALDEZ ARCHITECTURE - INTERIORS
180 MANZANITA DR. SEDONA AZ 86336



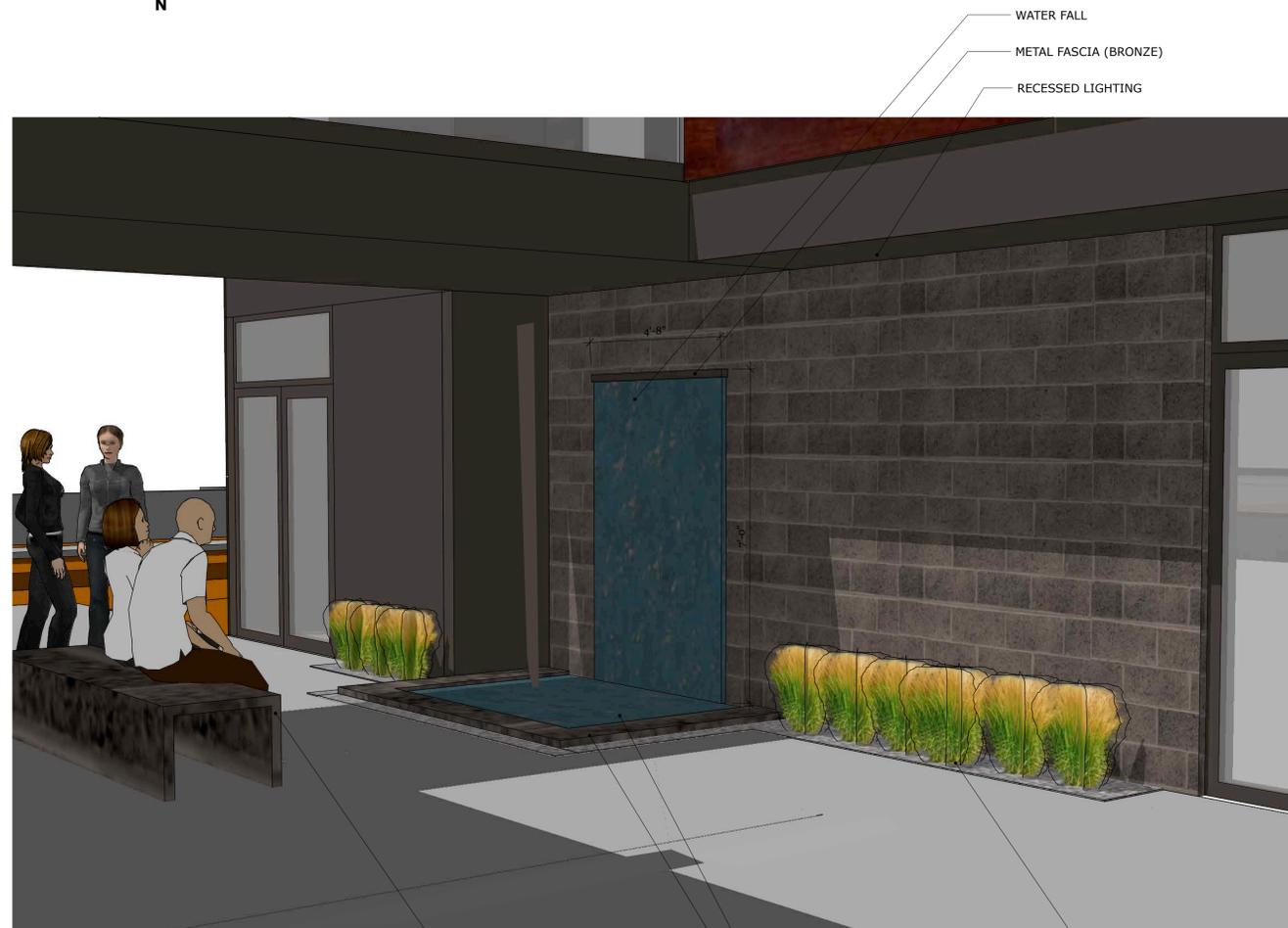
1 BUILDING MONUMENT 89A (PLAN)
A6.1 3/4" = 1'-0"



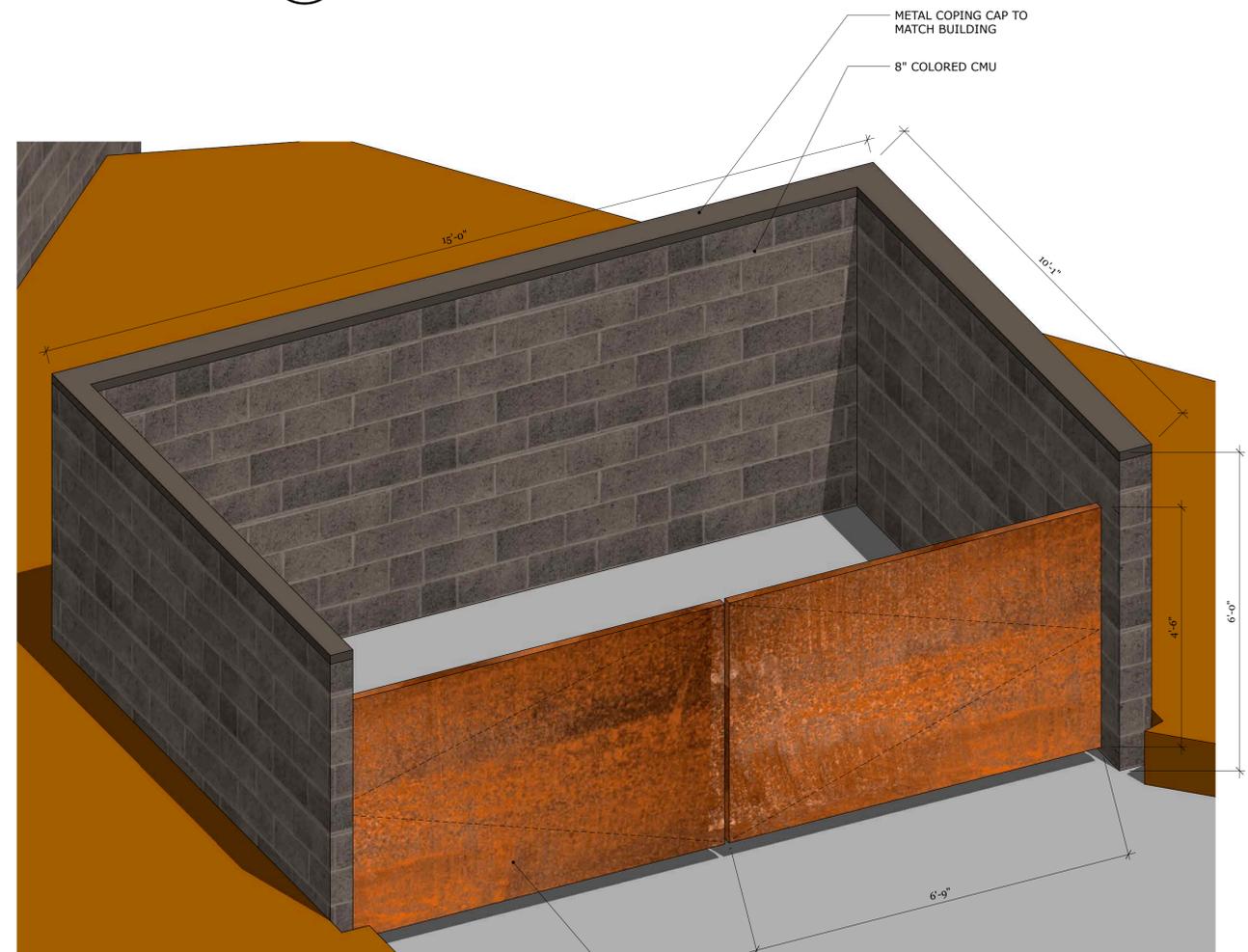
2 BUILDING MONUMENT 89A (WEST)
A6.1 3/4" = 1'-0"



3 BUILDING MONUMENT 89A (SOUTH)
A6.1 3/4" = 1'-0"



4 PERSPECTIVE OF WATER FEATURE
A6.1 N.T.S.



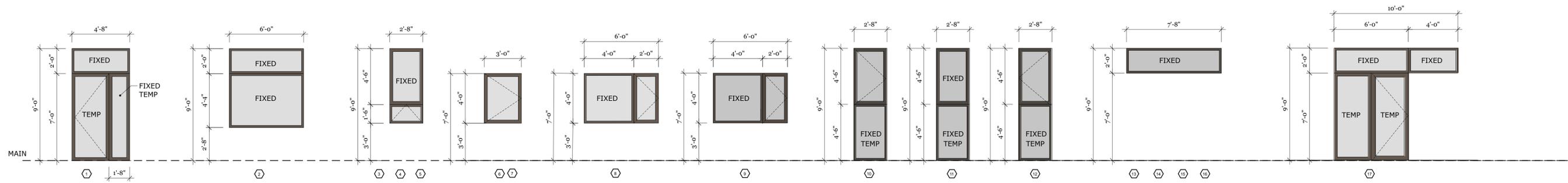
5 PERSPECTIVE OF TRASH ENCLOSURE
A6.1 N.T.S.

REVISIONS

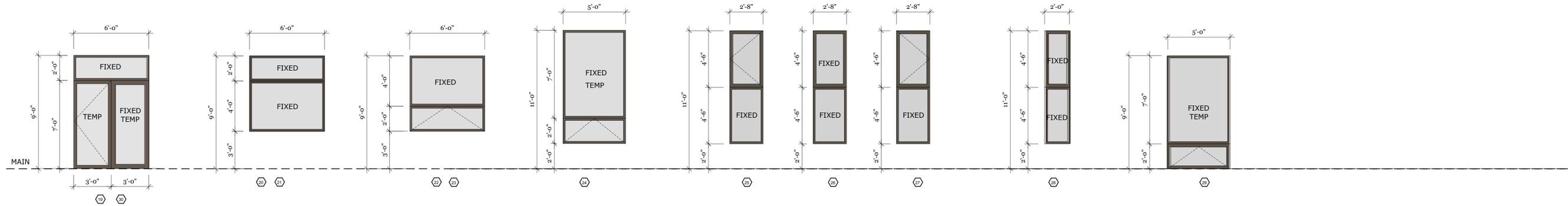
NO.	DATE	REVISIONS
1	10/23/14	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
2	12/11/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
3	2/03/15	CITY OF SEDONA FINAL REVIEW SUBMITTAL
4		
5		

NEXUS
TRACT A ROADRUNNER RANCHO
PARCEL 408.02.117

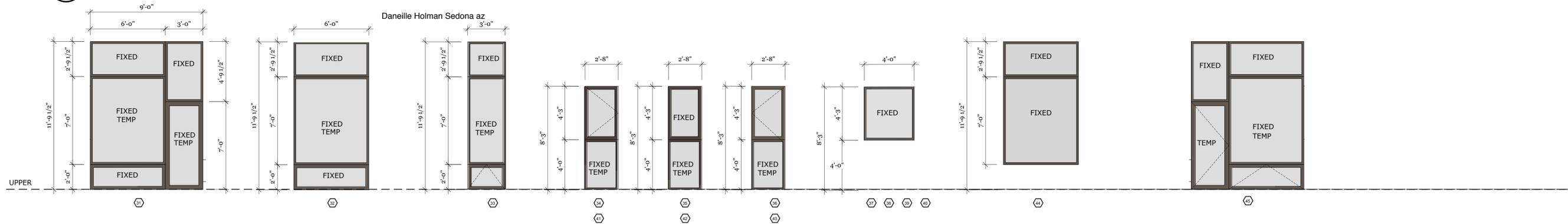
BLDG. DTLS.
VALDEZ ARCHITECTURE - INTERIORS
180 MANZANITA DR. SEDONA AZ 86336



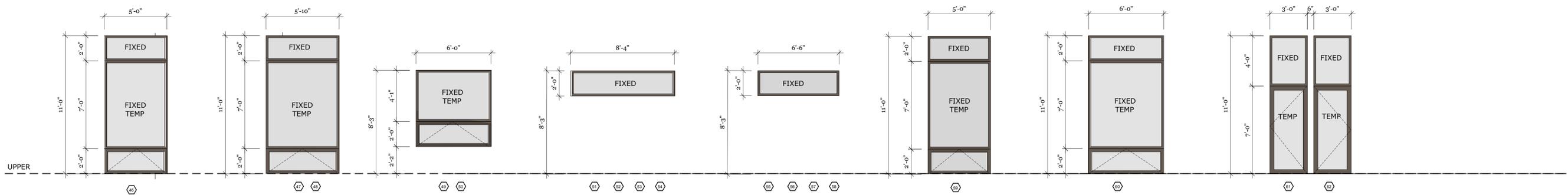
1 WINDOWS - GROUND EAST
A8.0 1/4" = 1'-0"



2 WINDOWS - GROUND WEST
A8.0 1/4" = 1'-0"



3 WINDOWS - UPPER EAST
A8.0 1/4" = 1'-0"



4 WINDOWS - UPPER WEST
A8.0 1/4" = 1'-0"

MM/DD/YY	REVISIONS	REMARKS
10/23/14	1	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
12/11/14	2	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
2/23/15	3	CITY OF SEDONA FINAL REVIEW SUBMITTAL
	4	
	5	

NEXUS
TRACT A ROADRUNNER RANCHO
PARCEL 408.02.117

WINDOWS
VALDEZ ARCHITECTURE - INTERIORS
180 MANZANITA DR. SEDONA AZ 86336

ELECTRICAL SYMBOLS

NOTE: NOT ALL SYMBOLS ARE USED ON THIS PROJECT

- FLUORESCENT FIXTURE, WITH FIXTURE DESIGNATED BY LETTER. SMALL LETTER INDICATES SWITCH LEG
- NIGHT LIGHT- NOT SWITCHED
- FLUORESCENT STRIP FIXTURE.
- CEILING OR WALLMOUNTED FIXTURE.
- PORCELAIN PULL CHAIN FIXTURE
- JUNCTION BOX
- JUNCTION BOX WITH FLEX CONNECTION.
- SINGLE FACE EXIT SIGN- NOT SWITCHED
- DOUBLE FACED EXIT SIGN- NOT SWITCHED.
- TWO HEAD EMERGENCY LIGHT WITH BATTERY.
- POLE-MOUNTED FIXTURE - No. OF LUMINAIRES AS SHOWN & SCHEDULED
- S** SINGLE POLE SWITCH, + 48" A.F.F. (20A-120/277V)
- S₃** THREE WAY SWITCH, + 48" A.F.F. (20A-120/277V)
- S₄** 4-WAY SWITCH +48" AFF (20A-120/277V)
- S_P** SWITCH AND PILOT LIGHT (20A-120-/277V)
- S_K** SINGLE POLE SWITCH, KEY OPERATED (20A)
- DIMMER CONTROL, + 48" A.F.F. TYPE, RATING AS NOTED
- DUPLEX RECEPTACLE, + 18" A.F.F. (20A)
- DUPLEX RECEPTACLE ABOVE COUNTER, VERIFY HEIGHT. (20A)
- FOURPLEX RECEPTACLE, + 18" A.F.F. (20A)
- HALF SWITCHED DUPLEX RECEPTACLE (20A)
- SPECIAL RECEPTACLE - SIZE & TYPE AS NOTED
- POWER FLUSH FLOOR OUTLET
- TELEPHONE OUTLET PLASTER RING AT + 18" A.F.F. HUBBELL #P12 COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUNS.
- DATA SYSTEM OUTLET, 4" SQUARE BOX AND COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUN, + 18" A.F.F.
- TELE/DATA COMBO OUTLET, 4" SQUARE BOX AND COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUN, + 18" A.F.F.
- CABLE TELEVISION (CATV) OUTLET PLASTER RING AT + 18" A.F.F. U.N.O. HUBBELL COVERPLATE, 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUNS.
- TELEPHONE SYSTEM CONDUIT HOMERUN WITH NYLON PULLWIRE (1" MIN UNO)
- CLOSED CIRCUIT TV (CCTV) OUTLET SAME AS CATV OUTLET
- DOOR CHIME
- REMOTE CONTROL STATION @ +48" AFF
- DISCONNECT SWITCH, FUSE PER EQUIPMENT MANUFACTURERS RECOMMENDATION, OUTSIDE NEMA 3R - N.F. = NON-FUSED. 30A/2P/WP U.N.O.
- COMBINATION STARTER AND FUSIBLE DISCONNECT SWITCH SIZE AS NOTED
- EQUIPMENT TERMINATION CONNECTION POINT VERIFY EXACT LOCATION LOAD AND VOLTAGE AS NOTED
- MOTOR
- THERMAL PROTECTED SWITCH
- MOTOR STARTER - SHADING INDICATES F.B.O.
- DISTRIBUTION PANELBOARD.
- BRANCH CIRCUIT PANELBOARD.
- CONDUIT BELOW FLOOR OR UNDERGROUND
- CONDUIT IN WALL OR ABOVE CEILING
- HOMERUN TO PANEL, NEUTRAL AND PHASE WIRING DESIGNATION (SEE GROUNDING NOTE)
- CONDUIT TURNING UP
- CONDUIT TURNING DOWN
- CONDUIT STUB-OUT, MARK AND CAP AS DIRECTED
- GROUND WIRE (SIZE AS NOTED) EXTENDED AND CONNECTED TO APP'D GROUND

OUTLET MOUNTING HEIGHTS PER AMERICAN DISABILITY ACT

SWITCHES	+48" (MAX)
RECEPTACLES	+18" (MAX)
TELEPHONE	+18" (MAX)
SIDE REACH	+54" (MAX)

FIRE WALL/FLOOR PENETRATION
ALL PENETRATIONS OF FIRE RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAIL THAT CONFORM TO UNDERWRITERS LABORATORY'S LISTINGS FOR THROUGH PENETRATION FIRESTOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS WHICH SHOW COMPLETE CONFORMANCE WITH THE LISTING TO THE ARCHITECT AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE LOCAL GOVERNING INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH ALL VARIABLES DEFINED.

FIRE ALARM SYSTEM SPECIFICATION
A COMPLETE OPERATIONAL MANUAL/AUTOMATIC FIRE ALARM SYSTEM TO BE MONITORED AS DIRECTED BY OWNER SHALL BE FURNISHED AND INSTALLED, AS REQUIRED FOR THIS TYPE OF BUILDING IN ACCORDANCE WITH STATE AND/OR LOCAL CODE AND AS APPROVED BY THE CODE ENFORCING AUTHORITY HAVING JURISDICTION. THE FIRE ALARM CONTROL PANEL SHALL BE LOCATED AS DIRECTED BY THE ENFORCING AUTHORITY. (CONNECT TO CIRCUIT HP-10). FIRE ALARM CONTRACTOR SHALL PROVIDE SPEC'S., DRAWINGS OF DEVICE LOCATIONS AND CUT SHEETS OF DEVICES TO FIRE MARSHALLS FOR APPROVAL PRIOR TO INSTALLATION.

NOTE:
1.) ALL SUB-PANELS, SERVICE EQUIPMENT, AND EQUIPMENT DISCONNECTS SHALL BE PROVIDED WITH THE WORKING CLEARANCES REQUIRED BY THE 2008 NEC.

OUTLETS INSTALLED IN FIREWALLS
OUTLETS, (SWITCHES, RECEPTACLES, ETC), MOUNTED IN FIRE RATED WALLS SHALL NOT OCCUPY THE SAME WALL CAVITY WITH OTHER OUTLETS WHETHER ON SAME SIDE OR BACK-TO-BACK. RECOMMENDED SPACING IS 24 INCHES HORIZONTAL. QND.

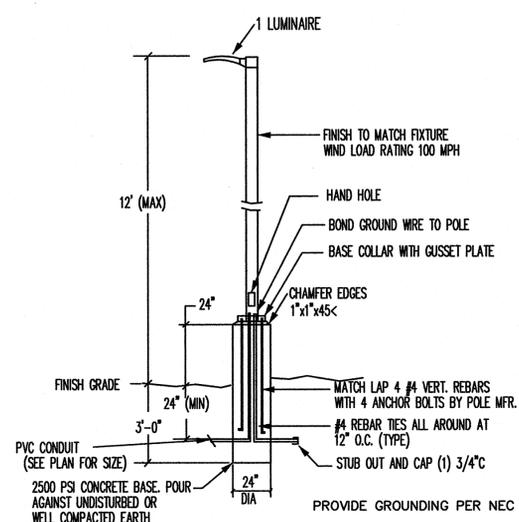
ALL WIRING #6 AWG AND LARGER SHALL BE XHHW COPPER. #8 AWG AND SMALLER SHALL BE THHN/THWN COPPER

SPECIFICATIONS

- PRIOR TO SUBMITTING BID, SUBCONTRACTORS SHALL EXAMINE ALL GENERAL CONSTRUCTION DRAWINGS AND VISIT THE CONSTRUCTION SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS UNDER WHICH HE WILL HAVE TO OPERATE AND WHICH IN ANY WAY AFFECTS THE WORK UNDER HIS CONTRACT. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
- THE SUBCONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR THE PROPER RESTORATION OF ALL EXISTING SURFACES REQUIRING PATCHING, PLASTERING, PAINTING AND /OR OTHER REPAIR DUE TO THE INSTALLATION OF ELECTRICAL WORK UNDER THE TERMS OF THE CONTRACT. CLOSE ALL OPENINGS, REPAIR ALL SURFACES, ETC., AS REQUIRED.
- SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ELEVATIONS AND BUILDING DETAILS. VERIFY LOCATION OF ALL OUTLETS, SWITCHES, AND WALL MOUNTED LIGHTING FIXTURES WITH ARCHITECTURAL DRAWINGS AND ACTUAL CONDITIONS. VERIFY ALL CEILING TYPES WITH ARCHITECTURAL DRAWINGS BEFORE ORDERING FIXTURES.
- PRIOR TO ROUGH-IN AND FINAL CONNECTION, VERIFY ELECTRICAL CHARACTERISTICS AND EXACT LOCATION OF EQUIPMENT.
- GROUT AND SEAL ALL CONDUIT PENETRATIONS OF WALLS AND FLOOR SLABS TO PRESERVE FIRE RATING AND WATERTIGHT INTEGRITY.
- BRANCH CIRCUIT WIRING SHALL BE THHN/THWN INSULATION. PANEL FEEDERS SHALL BE TYPE XHHW. ALL WIRE SHALL BE COPPER. MINIMUM WIRE SIZE SHALL BE #12.
- ALL WIRING TO BE INSTALLED IN RACEWAYS. TYPE OF RACEWAY SHALL BE AS REQUIRED BY CODE. MINIMUM CONDUIT SIZE SHALL BE 1/2".
- PROVIDE CODE SIZED BOND WIRE IN ALL EMT, FLEXIBLE CONDUIT, OR NM CABLES.
- ALL ELECTRICAL EQUIPMENT SHALL BE NEW, U.L. APPROVED AND COMMERCIAL GRADE.
- WIRE RATED FOR 150° CENTIGRADE SHALL BE USED FOR ALL INCANDESCENT LIGHTING FIXTURES.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL CODE, (N.E.C.), AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- PROVIDE TYPEWRITTEN DESCRIPTIVE PANEL DIRECTORIES

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR (ⅈ OF OUTLET)
A.F.G.	ABOVE FINISHED GRADE (ⅈ OF OUTLET)
E.C.	EMPTY CONDUIT
G.F.I.	GROUND FAULT INTERRUPTER
WP	WEATHERPROOF
UNO	UNLESS OTHERWISE NOTED
NL	NIGHT LIGHT
TP	TYPICAL
EDF	ELECTRIC DRINKING FOUNTAIN
TMB	TELEPHONE MOUNTING BOARD
TTC	TELEPHONE TERMINAL CABINET
SES	SERVICE ENTRANCE SECTION
EF	EXHAUST FAN



TYPE 'A' POLE MOUNTING DETAIL
NO SCALE
NOTE: CONTRACTOR TO VERIFY FIXTURE POLE TYPE, HEIGHT AND ANY OTHER REQUIREMENT WITH OWNER/ARCHITECT PRIOR TO ORDERING.

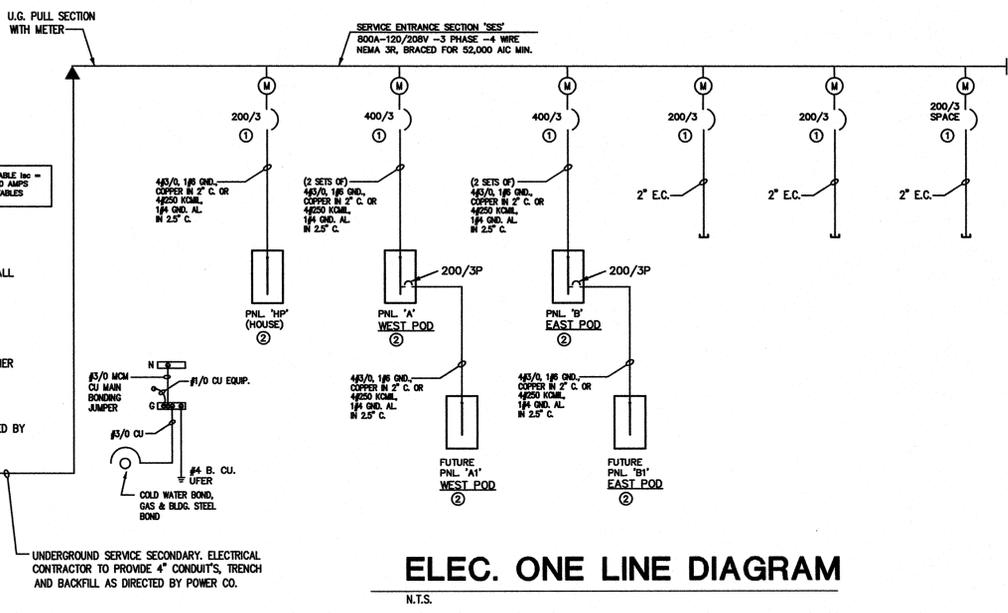
NOTE: POLE BASE DEPTH, REBAR QUANTITIES AND SIZES ARE SHOWN FOR ESTIMATION PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE A POLE BASE INSTALLATION DETAIL PREPARED & SEALED BY A STRUCTURAL ENGINEER WITH EXACT POLE BASE DIMENSIONS, MATERIALS, ETC. POLES AND POLE BASES SHALL BE DESIGNED FOR PROPER STRUCTURAL AND WIND LOADING SUPPORT SPECIFIC FOR THE FIXTURES AND POLES BEING PROVIDED FOR THIS PROJECT.

ONE LINE GENERAL NOTES:

- SYSTEM SHOWN IS A TWO TIER SERIES RATED SYSTEM 52/10K. MANUFACTURER SHALL PROVIDE A UL LISTED SYSTEM TO MATCH THIS RATING.
- MOTOR SHORT CIRCUIT CONTRIBUTION IS LESS THAN 1% OF SYSTEM SHORT CIRCUIT AMPS.
- NO DESIGN CHANGES MAY BE MADE TO THE SYSTEM WITHOUT THE PRIOR APPROVAL OF THE DESIGN ELECTRICAL ENGINEER AND THE ELECTRICAL INSPECTOR

SITE RELATED WORK

- PRIOR TO COMMENSING WORK AND/OR SUBMITTING BASE BID, THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY HIMSELF TO EXISTING WORK RELATED CONDITIONS WITH REGARDS TO THE FOLLOWING:
- TRENCH AND BACKFILL FOR CONDUITS PER UTILITY CO. REQUIREMENTS. (FIELD VERIFY)
 - TRANSFORMER MOUNTING PAD PER UTILITY CO. REQUIREMENTS.
 - PROVIDE SECONDARY AND/OR PRIMARY CONDUITS. (SEE ONE LINE DIAGRAM).
 - SERVICE ENTRANCE SECTION (S.E.S.). VERIFY PROPOSED EQUIPMENT WILL FIT THE SPACE ALLOTTED PRIOR TO ORDERING AND/OR CONSTRUCTION.
 - P.V.C. TELEPHONE CONDUIT WITH PULL WIRE AND RIGID FACTORY STEEL BENDS PER TELEPHONE CO. REQUIREMENTS. (SIZE AS NOTED OR REQUIRED BY UTILITY VERIFY PRIOR TO INSTALLATION).
 - THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND COMPLIANCE WITH ALL UTILITY COMPANIES REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO ANY AND ALL ADDITIONAL COSTS FOR MATERIAL AND LABOR FOR WORK WHETHER SHOWN ON THE PLANS OR NOT. ACTUAL ROUTING, CONDUIT, TRENCH AND PAD REQUIREMENTS SHALL BE AS SPECIFIED BY UTILITY COMPANIES. VERIFY REQUIREMENTS WITH UTILITIES PRIOR TO INSTALLATION.
 - WHERE APPLICABLE, PROVIDE EQUIPMENT GROUNDING (BOND) CONDUCTOR FOR METALLIC PROCESSING AND FIRE SPRINKLER PIPING PER NEC 250-80 AND SIZED PER NEC 250-95 TABLE.



ELECTRICAL LOAD CALC'S

INTERIOR LIGHTING	=	9,921 SQ. FT. x 3.5VA / SQ.FT. x 1.25	=	43,404 VA
RECEPT'S. & MISC. 120V	=	9,921 SQ.FT. x 2.0VA / SQ.FT. x 1.00	=	19,842 VA
FURNACE	=	7 x 11.9 RLA x 208V √3 x 1.00	=	29,988 VA
A/C COND'G. UNIT	=	7 x 28.0 MCA x 208V√3 x 1.00	=	70,560 VA
WATER HEATERS	=	5 X 3000VA X 1.00	=	15,000 VA
TOTAL	=	178,794 VA / 208V √3	=	496.7 AMPS
PROJECTED CODE TOTAL	=		=	135.4 AMPS

PANELBOARD		HP		SCHEDULE	
MAIN: 200A MLD	VOLTAGE: 120/208V, 3Ø, 4W	LOAD-VA	LOCATION	ELEC. ROOM (SEE PLAN)	MOUNTING SURFACE
TYPE: C-H 'PRL' OR EQUAL	C-H 'PRL' OR EQUAL	MIN. A.I.C.	MIN. A.I.C.	48/10 SERIES RATED	
CIRCUIT DESCRIPTION	BKR.	CIR. NO.	ØA	ØB	ØC
ELEV. CAR LIGHTS	20	1	1500		20
MACHINE RM. LIGHTS & RECEPT'S.		3	780		4
SPARE		5			6
ELEVATOR MACHINE	125	7	9900		8
VERIFY BREAKER & WIRE		9	9900		10
SIZE WITH ELEV. MFR.		11			12
LIGHTING EXTERIOR POLE & STEP	20	13	1650		14
- BLDG. WEST		15	1650		16
- BLDG. EAST		17	780		18
MINIMUM SIGN	19	1500			20
SPARE		21			22
		23			24
		25			26
		27			28
		29			30
		31			32
		33			34
		35			36
		37			38
		39			40
		41			42
TOTAL LOAD PER PHASE			16250	13920	13890
			HP 16250 / 120 = 135.4		AMPS

PANELBOARD SYMBOLS
* CONTINUOUS DUTY/LARGEST MOTOR @ 125%

REVISIONS

NO.	DATE	REVISION
1	10/21/14	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
2	12/11/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
3	1/29/14	CITY OF SEDONA FINAL REVIEW SUBMITTAL

NEXUS
TRACT A ROADRUNNER RANCO
PARCEL 408.02.117

ELECTRICAL COVER SHEET
VALDEZ ARCHITECTURE - INTERIORS
180 MANZANITA DRIVE - SEDONA AZ 86336 928.213.2189

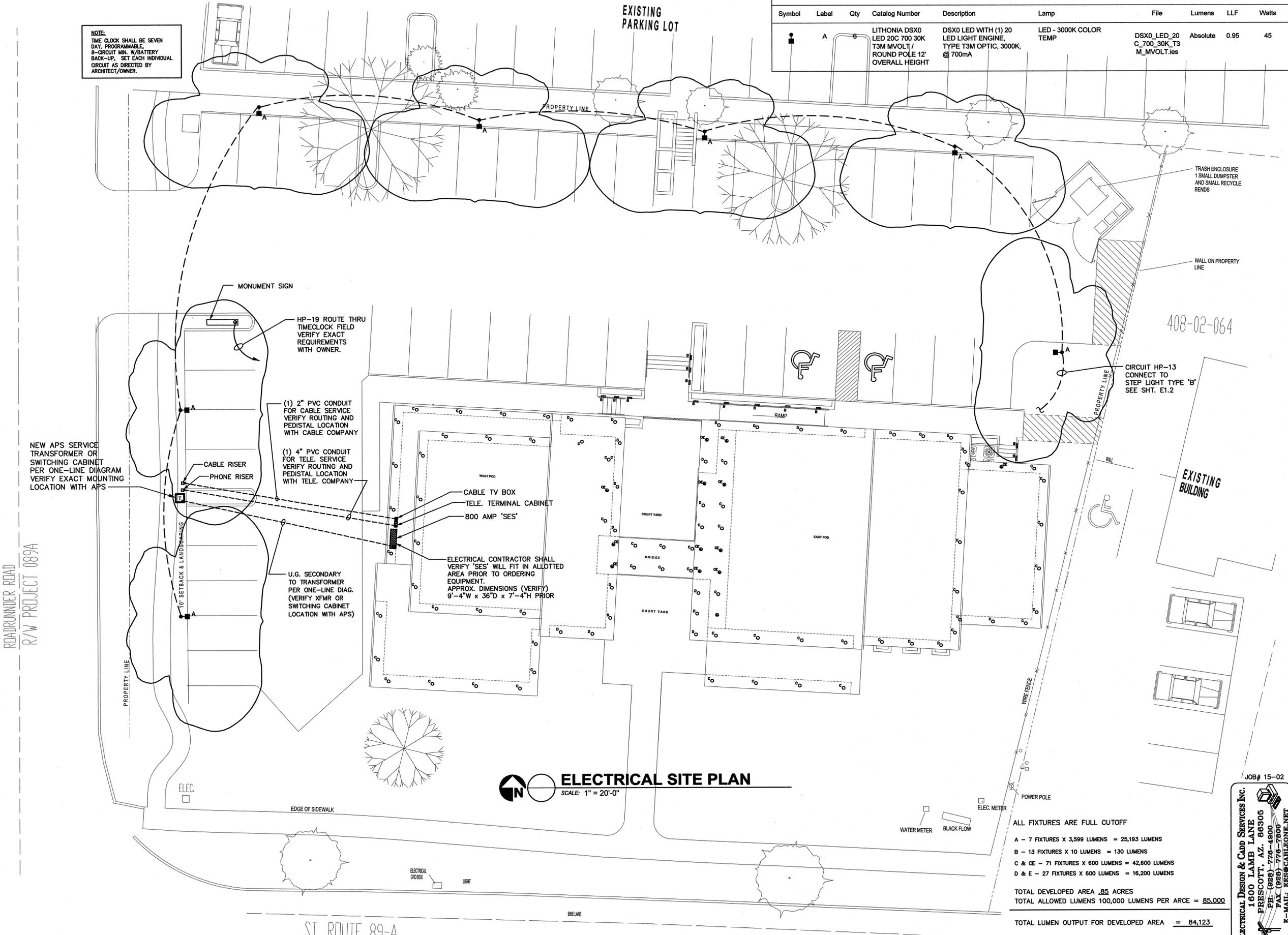
JOB# 15-02
ELECTRICAL DESIGN & CAD SERVICES INC.
1600 LAMB LANE
PRESCOTT, AZ. 86305
PH: (928) 776-4900
FAX: (928) 776-7800
E-MAIL: EES@CABLEONE.NET



ANGELO V. ORMAN
COPYRIGHT 2014
VALDEZ ARCHITECTURE - INTERIORS
E1.0

NOTE:
TIME CLOCK SHALL BE SEVEN DAY, PROGRAMMABLE, 6-CIRCUIT MIN. W/BATTERY BACK-UP. SET EACH INDIVIDUAL CIRCUIT AS DIRECTED BY ARCHITECT/OWNER.

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	6	LITHONIA DSX0 LED 20C 700 30K T3M MVOLT / ROUND POLE 12' OVERALL HEIGHT	DSX0 LED WITH (1) 20 LED LIGHT ENGINE, TYPE T3M OPTIC, 3000K, @ 700mA	LED - 3000K COLOR TEMP	DSX0_LED_20 C_700_30K_T3 M_MVOLT.ies	Absolute	0.95	45



ELECTRICAL SITE PLAN
SCALE: 1" = 20'-0"

ALL FIXTURES ARE FULL CUTOFF

A - 7 FIXTURES X 3,599 LUMENS = 25,193 LUMENS
 B - 13 FIXTURES X 10 LUMENS = 130 LUMENS
 C & CE - 71 FIXTURES X 600 LUMENS = 42,600 LUMENS
 D & E - 27 FIXTURES X 600 LUMENS = 16,200 LUMENS

TOTAL DEVELOPED AREA .85 ACRES
 TOTAL ALLOWED LUMENS 100,000 LUMENS PER ARCE = 85,000

TOTAL LUMEN OUTPUT FOR DEVELOPED AREA = 84,123

JOB# 15-02

ELECTRICAL DESIGN & CADD SERVICES INC.
 1600 LAMB LANE
 PRESCOTT, AZ. 86306
 PH: (928) 776-4900
 PH: (928) 776-7800
 FAX: (928) 776-7800
 E-MAIL: EES@CABLEONE.NET

Professional Engineer Seal for Angelo V. Orsini, License No. 7480, State of Arizona. Includes copyright notice for Valdez Architecture + Interiors, 2014.

REVISIONS	REMARKS	DATE
1	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL	10/23/14
2	CITY OF SEDONA CONCEPTUAL REVIEW MEETING	12/17/14
3	CITY OF SEDONA FINAL REVIEW SUBMITTAL	1/29/14

NEXUS
 TRACT A ROADRUNNER RANCO
 PARCEL 408.02.117

ELECTRICAL SITE PLAN
 VALDEZ ARCHITECTURE - INTERIORS
 180 MANZANITA DRIVE - SEDONA AZ 86336 928.213.2189

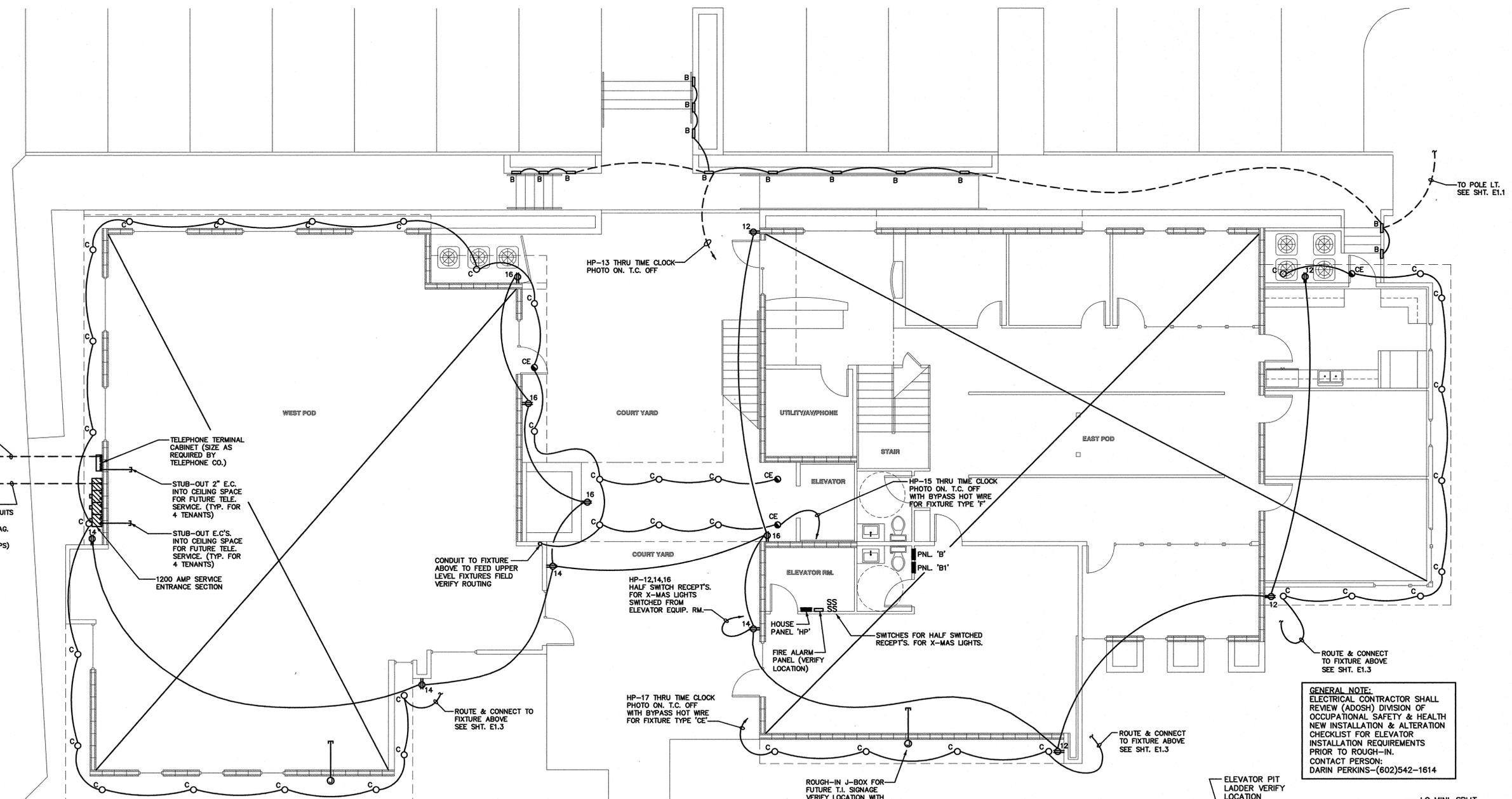
E1.1

REVISIONS	REMARKS
MM/DD/YY	
10/23/14	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
12/11/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
1/29/14	CITY OF SEDONA FINAL REVIEW SUBMITTAL

NEXUS
TRACT A ROADRUNNER RANCO
PARCEL 408.02.117

GROUND LEVEL ELECTRICAL PLAN
VALDEZ ARCHITECTURE - INTERIORS
180 MANZANITA DRIVE - SEDONA AZ 86336 928.213.2189

E1.2



GENERAL NOTE:
ELECTRICAL CONTRACTOR SHALL REVIEW (ADOSH) DIVISION OF OCCUPATIONAL SAFETY & HEALTH NEW INSTALLATION & ALTERATION CHECKLIST FOR ELEVATOR INSTALLATION REQUIREMENTS PRIOR TO ROUGH-IN. CONTACT PERSON: DARIN PERKINS-(602)542-1614

GENERAL POWER NOTES:

- IF ELECTRICAL CONTRACTOR IS NOT CERTAIN OF MOUNTING HEIGHT OR LOCATION OF ANY ELECTRICAL EQUIPMENT AND/OR DEVICES HE IS TO VERIFY ITEMS WITH ELECTRICAL ENG., ARCHITECT OR OWNER PRIOR TO ROUGH-IN.
- EXTERIOR RECEPTS. TO BE WP, GFCI TYPE PER NEC

GENERAL LIGHTING NOTES:

- CONTRACTOR SHALL VERIFY ALL MOUNTING HEIGHTS EXACT LOCATION AND REQUIREMENTS OF ALL LIGHTING FIXTURES AND SWITCHES WITH OWNER PRIOR TO ROUGH-IN.
- NIGHT LIGHTS (NL), EMERGENCY & EXIT LIGHT FIXTURES SHALL BE CONNECTED TO UNSWITCHED LEG OF CIRCUIT.

NOTE:
VERIFY ALL ELECTRICAL REQUIREMENTS WITH ELEVATOR MFR. PRIOR TO ORDERING ELECTRICAL ELEV. EQUIP.

EXTERIOR BLDG. LUMINAIRE SCHEDULE

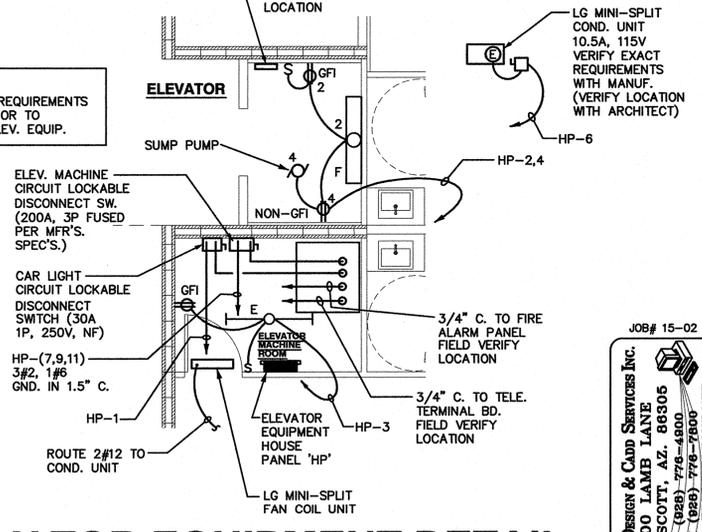
Symbol	Label	Catalog Number	Description	Lamp	Lumens	Watts
B	BEGA US	2196LED	RECESSED WALL STEP LIGHT	6.7 WATT LED	10	6.7
C	GOTHAM ARCHITECTURAL	LED DOWNLIGHT 4" EVO EVO 27 06 4AR WD 120	4" EVO LED RECESSED DOWNLIGHT, 600 LUMENS 2700 K	600 LUMEN LED 2700K	Absolute	18.0
CE	GOTHAM ARCHITECTURAL	LED DOWNLIGHT 4" EVO EVO 27 06 4AR WD 120 EL EMERGENCY BATTERPACK	4" EVO LED RECESSED DOWNLIGHT, 600 LUMENS 2700 K	600 LUMEN LED 2700K	Absolute	18.0
D	GOTHAM ARCHITECTURAL	LED DOWNLIGHT 4" EVO EVO 27 06 4AR MD 120	4" EVO LED RECESSED DOWNLIGHT, 600 LUMENS 2700 K	600 LUMEN LED 2700K	Absolute	18.0
DE	GOTHAM ARCHITECTURAL	LED DOWNLIGHT 4" EVO EVO 27 06 4AR MD 120 EL EMERGENCY BATTERPACK	4" EVO LED RECESSED DOWNLIGHT, 600 LUMENS 2700 K	600 LUMEN LED 2700K	Absolute	18.0

GROUND LEVEL ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"

NOTE:
1.) ALL SUB-PANELS, SERVICE EQUIPMENT, AND EQUIPMENT DISCONNECTS SHALL BE PROVIDED WITH THE WORKING CLEARANCES REQUIRED BY THE LATEST ADOPTED NEC.

ELEVATOR & MACHINE ROOM LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER AND MODEL NO.	VOLTS	LAMPS	MOUNTING	FINISH	REMARKS
E	LITHONIA C 2 32 120 GEB	120	(2) F03218/SP35	SURFACE	STANDARD	4' FLUORESCENT STRIP
F	KENALL (NOVA 1) N548 C 2 32 EB 1 120	120	(2) F03218/SP35	SURFACE FIELD VERIFY	STANDARD	WALL MOUNT DAMP LOCATION WITH CLEAR PRISMATIC REFLECTOR

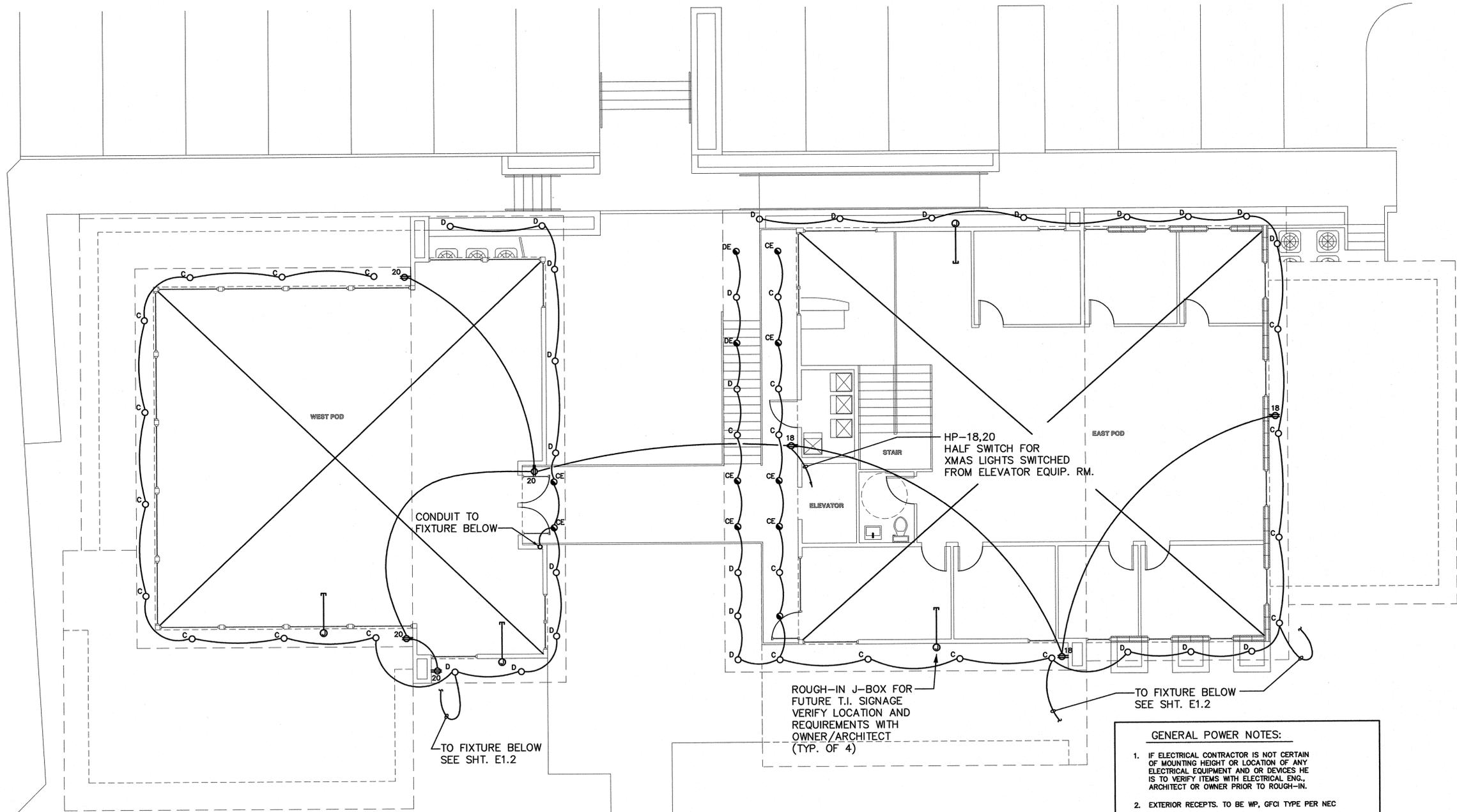


ELEVATOR EQUIPMENT DETAIL
SCALE: 1/4" = 1'-0"

Electrical Design & CAD Services Inc.
1800 LAMB LANE
PRESCOTT, AZ, 86306
PH: (928) 776-4800
FAX: (928) 776-1800
E-MAIL: EDC@CADSERVICES.NET



Copyright 2014
Valdez Architecture - Interiors



GENERAL POWER NOTES:

- IF ELECTRICAL CONTRACTOR IS NOT CERTAIN OF MOUNTING HEIGHT OR LOCATION OF ANY ELECTRICAL EQUIPMENT AND OR DEVICES HE IS TO VERIFY ITEMS WITH ELECTRICAL ENG., ARCHITECT OR OWNER PRIOR TO ROUGH-IN.
- EXTERIOR RECEP.TS. TO BE WP, GFCI TYPE PER NEC

GENERAL LIGHTING NOTES:

- CONTRACTOR SHALL VERIFY ALL MOUNTING HEIGHTS EXACT LOCATION AND REQUIREMENTS OF ALL LIGHTING FIXTURES AND SWITCHES WITH OWNER PRIOR TO ROUGH-IN.
- NIGHT LIGHTS (NL), EMERGENCY & EXIT LIGHT FIXTURES SHALL BE CONNECTED TO UNSWITCHED LEG OF CIRCUIT.

UPPER LEVEL ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"

JOB# 15-02
ELECTRICAL DESIGN & CAD SERVICES INC.
1600 LAMB LANE
PRESCOTT, AZ 86305
PH: (928) 776-4800
FAX: (928) 776-7800
E-MAIL: EES@CABLEONE.NET



Angelo J. Onan

COPYRIGHT 2014
VALDEZ ARCHITECTURE + INTERIORS

NEXUS
TRACT A ROADRUNNER RANCO
PARCEL 408.02.117

**UPPER LEVEL
ELECTRICAL PLAN**
VALDEZ ARCHITECTURE - INTERIORS
180 MANZANITA DRIVE - SEDONA AZ 86336 928.213.2189

NO.	DATE	REVISIONS
1	10/21/14	CITY OF SEDONA CONCEPTUAL REVIEW SUBMITTAL
2	12/11/14	CITY OF SEDONA CONCEPTUAL REVIEW MEETING
3	1/29/14	CITY OF SEDONA FINAL REVIEW SUBMITTAL