

City Of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • Fax: (928) 204-7124

PZ15-00013 (DEV) Super 8 Façade Remodel

Current Planning Comments

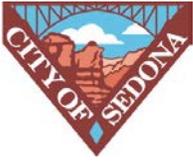
Reviewer: Cari Meyer, Senior Planner

(928) 203-5049; cmeyer@sedonaaz.gov

1. COMMENT: All comments need to be addressed prior to scheduling a public hearing for this project.
2. COMMENT: Staff acknowledges that this is a façade remodel and does not change the basic layout of the site. However, this site is also legal non-conforming in a number of ways, including, but not limited to, use (hotel in a C-2 zone), building height, building massing, landscaping, and screening. While it is understood that full compliance in some of these areas is impractical, new areas of the site (such as parking areas) are required to be in full compliance and existing site elements must be brought into closer compliance with City regulations wherever possible. Please be aware that any significant redevelopment of the site in the future could result in the entire site being required to be brought into full conformance with all code requirements.
3. Planning and Zoning Commission Work Session: A work session for this project has been scheduled with the Planning and Zoning Commission for November 17, 2015. This meeting starts at 5:30 pm in Council Chambers at City Hall. For this work session, the Commission will be provided with the application materials and all comments received for this project. Prior to this meeting, Staff is available to meet with the applicant to go over these comments and to clarify expectations in moving this application forward. The result of this work session is to provide you with greater feedback in advance of scheduling a hearing for final action so that concerns can be identified and addressed.
4. Letter of Intent:
 - a) The Letter of Intent (LOI) needs to be expanded to address how this application complies with applicable sections of the Sedona Land Development Code (SLDC) and the Design Review Manual (DRM). The application instructions contain a list of various categories that should be addressed. Specific comments include the following:
 - i) Linkage and Circulation: The LOI states that there are no revisions. However, the aisle along the back of the building is going from a 2-way aisle to a one-way aisle. Please indicate if any signage is needed at the Stutz Bearcat Driveway, as this driveway will become an exit only drive.
 - ii) Parking: It is anticipated that the reconfiguration along the south property line will result in the loss of parking spaces, thus the need for the new parking area to the west. Please address this, including the total number of spaces lost and the total number of new spaces. The new layout must comply with all parking requirements, including dimensions, configuration, and landscaping.

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- iii) Exterior Lighting: Please address whether the current exterior lighting complies with current City requirements (SLDC 911: Outdoor Lighting). If it does not, address how the lighting could be updated to be brought into compliance.
 - iv) Architectural Character and Building Form, SDLC Article 9 and SLDC Article 10: The LOI needs to address how this project is addressing the requirements of these sections. As previously stated, it is understood that full compliance may not be possible due to the existing conditions. However, the LOI needs to demonstrate how this project will be more in compliance with these sections than the existing building.
 - v) SLDC 401.06: Even though this project is not new, it remains subject to a Development Review. You must address the required findings for Development Review approval.
5. Site Plan:
- a) The site plan shows that the curb and reconfigured parking areas at the south end of the site encroach onto the neighboring property. All improvements must be located completely within the subject property. Please adjust plans accordingly.
 - b) SLDC 907.02.C requires a screening of 6 feet in height between commercial parking areas and residential properties. This does not currently exist and needs to be provided as a part of this application. Please indicate the location and method of screening on the plans.
 - c) Please note that changes made based on other comments may require the site plan to be changed as well.
6. Exterior Elevations:
- a) Please explore options to create a more varied façade. While the proposed patios and decks add more dimension to the flat wall, they are repetitive. Please determine if there is a way to alter the width and/or depth of some of the patios to create greater visual interest and articulation.
 - b) Please provide elevations of the west and east ends of the building. Provide a calculation for the unrelieved building plane (SLDC 903.03.C) and exposed mass heights (SLDC 903.03.D). If the building does not meet these requirements, consider adding additional landscaping and/or architectural features, as well as incorporating a change in materials to break up the mass of the wall.
7. Proposed Color and Materials Board:
- a) The color proposed for the exterior wall does not comply with the City's Color Requirements. In addition, due to the height and the non-conformity of the existing building, it has been determined that the color cannot have an LRV (Light Reflectance Value) of more than 21% based upon the table found in Section 904, Color, SLDC.. Please provide a new color sample for review. In addition, please provide a color sample of the existing building for comparison purposes.
8. Parking:
- a) Please provide a parking calculation for the site. If the development is not providing sufficient parking on site for all uses, you will be required to expand your parking area. Parking ratios for the uses shown on the site plan are as follows:

-
- i) Hotel: 1 space per room, plus 5 spaces for hotels with less than 60 rooms, plus 10 spaces for hotels with 60 or more rooms
 - ii) Meeting Facility: 1 space per 175 square feet
 - iii) Restaurant: 1 space per 100 square feet (indoor), 1 space per 200 square feet (outdoor)
- b) Parking lot layout. As currently laid out, the parking lot does not comply with Sedona Land Development Code Requirements. (Please see Engineering Comments) Please make adjustments to bring the parking areas into compliance with the following requirements:
- i) A one way parking aisle with 45 degree angled parking requires a minimum aisle width of 13 feet. (See SLDC Figure 9-46) The site plan shows the parking aisle on the southern side of the building at 12'8", 4" short of the required width. In addition, based on the current layout, approximately 2 feet of the parking area encroaches onto the neighboring properties.
9. Landscaping: Please provide a new landscape plans for all new/redesigned areas of the site. These plans must show compliance with SLDC 910: Landscaping. The existing development does not comply with City landscaping requirements. All new/redesigned areas of the site, including the new parking area and the reconfigured angled parking along the south side of the building must comply. Modifications should be made to existing areas to bring them into compliance wherever possible. In particular, please pay attention to the following sections:
- a) SLDC 910.05.M.1: Parking lots are required to have a 4' wide landscape strip along property lines. The area along the entire length of the southern property line does not comply with this requirement.
 - b) SLDC 910.05.M.2: Parking lots are required to have landscape peninsulas every 7 spaces. New parking areas must meet this requirement and existing parking areas should be modified to meet this requirement wherever possible.
 - c) Though no changes are specifically proposed to the street frontage and building perimeter at this time, please examine whether additional landscaping can be provided to bring the site into closer conformance with SLDC 910.05.L & N.
10. SLDC 1202: Nonconforming Developments limits the amount of work that can be done to a non-conforming development without the development coming into full compliance with the development standards of the Land Development Code. For commercial properties, this limit is set at 25% of the building's valuation. This total is cumulative, so any future renovations would count towards this limit. In order to determine what level of conformance is required and for tracking purposes, please provide a valuation for the building and a valuation for the work proposed.
11. Prior to scheduling a public hearing, the applicant must provide Staff with their Citizen Participation Report. For requirements regarding what needs to be included in the report, please refer to SLDC 408: Citizen Review Process.



**City of Sedona Community Development Department
Engineering Services**

102 Roadrunner Drive Sedona, AZ 86336

(928) 204-7111 • Fax: (928) 282-5348, Ryan Mortillaro, (928) 203-5091

**PZ15-00013 (DEV)
Super 8 Parking Lot and Improvements (Conceptual Review)
10/29/15**

Engineering Comments

For the next level of review:

1. Backup turnaround at the proposed new parking area to the west must be a minimum of 12' in depth.
2. Keynote #4 calls for 6" curb height, per Land Development Code (912.05.J2), the maximum curb height that will be used as an overhang is 4".
3. Southern parking spaces encroach past the property line. In addition, the as planned aisle width between the curb and parking spaces is 12' - 8"; the minimum width required is 13'. It is recommended to decrease the angle to 30 degrees to ensure that the property line is not encroached, and to provide adequate spacing between the parking spaces and the new concrete curb. The minimum required aisle width for 30 degree angle parking spaces is 12'.
4. Please refer to the City Land Development Code Section 912.08 to view other options.
5. In the new southwestern parking area, the two sets of parking spaces show a 25' length between them, the minimum is 26'.
6. Straight parking spaces are currently designed as 16' long; the minimum length required is 18' long. 16' is fine as long as it includes a 2' overhang.
7. Traffic circulation on 1-way angle parking shall have directional arrows painted on the pavement to help assure the correct flow.
8. Provide Preliminary Grading and Drainage Plans.
9. Just a note (nothing specific): All parking areas shall meet the requirements of the City Land Development Code Chapter 9 (aisle width, radii, parking space size, etc.). Any asphalt or solid concrete parking surfaces will require permanent water quality measures. (City Code Chapter 13.5)
10. Sidewalks and accessible parking areas will need to meet current US Dept. of Justice ADA requirements.
11. Ends of island parking nodes where angled parking is provided shall be a minimum of 10 feet average width.

Prior to Issuance of Building Permit:

- Provide Final Grading and Drainage Plans. The Site Plan shall meet the requirements of LDC Section 803.
- Applicant shall provide a Storm Water Pollution Prevention Plan. SWPP measures shall be in place prior to the start of construction (LDC Article 8). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5)
- Accessible sidewalks and parking areas will need to meet current US Dept. of Justice ADA requirements.
- Any new accessible parking/signage shall meet the requirements of City LDC Section 912.09.
- A City Right-of-Way Permit shall be acquired for any work taking place within City Rights-of-Way.



SEDONA FIRE DISTRICT

2860 SOUTHWEST DRIVE • SEDONA, AZ 86336 • TEL: (928) 282-6800 • FAX: (928) 282-6857

October 31, 2015

Ms. Cari Meyer
Associate Planner, Current Planning
City of Sedona Community Development
City of Sedona
104 Road Runner Drive
Sedona, Arizona 86336

Dear Ms. Meyer:

A conceptual review has been completed for the project listed below.

Description: Super 8 Hotel
Address: 2545 West State Route 89A, Sedona, Arizona 86336
Case#: PZ15-00013 (Development Review)
APN: 408-24-018
Proposal: Exterior Façade Remodel, increase in building square footage

Based on the submitted information the following fire code requirements shall be applicable.

1. Section 503.2 Fire Apparatus Access Roads: Fire department access roadways shall be provided. Roadways shall meet the listed requirements:
 - A. Roadways shall be at least 20 feet wide. 12 feet for one-way driveways.
 - B. Grades shall not exceed 6% for gravel, 12% for blacktop and 15% for concrete surfaces.
 - C. Overhead obstructions shall not be lower than 13 feet 6 inches.
 - D. Vehicles shall not park in a fashion to obstruct fire lanes. No parking signs shall be installed where parking presents such obstructions.

NOTE: The proposed modification to the south parking shall require the installation of traffic signage indicating the correct path of travel. No parking fire lane parking signage may be required.

2. Section 903.2.7: Automatic Fire Sprinklers: Based on the proposed addition of square footage to the existing building an approved automatic fire sprinkler system shall be installed. Systems shall be installed in accordance with the National Fire Protection Association's pamphlet #13R, "**Standard for the Installation of Sprinkler Systems in Residential Occupancies up to and Including Four Stories in Height**" the 2002 edition. Plans, specifications and hydraulic calculations shall be submitted to this office for review prior to installation. A framing inspection will not be conducted until a set of sprinkler plans

is approved. **This installation requires a separate construction permit through this office.**

3. Section 903.4 Sprinkler System Monitoring and Alarms: All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electronically monitored where the number of sprinklers is one hundred or more in all other occupancies. If applicable, provide electronic monitoring of the water flow switch.
4. Section 508 Fire Protection Water Supplies: Water mains and their appurtenances shall be installed in accordance with the National Fire Protection Association's pamphlet #24, **"Standard for the Installation of Private Fire Service Mains and Their Appurtenances"** the 2002 edition. Plans and specifications shall be submitted for review and approval prior to any installation. **This installation requires a separate construction permit through this office.**
5. Section 506.1 Key Boxes: All buildings equipped with automatic fire sprinklers, fire alarms or commercial kitchen cooking fire suppression systems shall be provided with an approved KNOX key box. This box is available for purchase through the Sedona Fire District.
6. Section 304.3 Combustible Waste Containers: Dumpsters, larger than 1.5 cubic yard capacity, shall not be located within five feet of the nearest structure. Provide proper separation for dumpsters from buildings.
7. Section 906 Portable Fire Extinguishers: All buildings shall be provided with UL listed or equivalent portable fire extinguishers. Fire extinguishers shall be installed in accordance with the National Fire Protection Association's pamphlet #10, **"Standard for Portable Fire Extinguishers"** the 1998 edition. The travel distance to any fire extinguisher shall not exceed 75 feet from any point in a building. Extinguishers shall be classified at least 2A10BC or greater, containing at least 5 pounds of dry chemical agent. Units shall be serviced and tagged by a reputable fire extinguisher company prior to the unit being displayed for use. Provide a unit near each exit on each floor.
8. Section 505.1 Premises Identification: Premises-identification shall be clearly posted prior to final occupancy. Numbers shall be visible and legible from the street. Number colors shall be contrasting to their background. Provide proper address numbers.
9. Section 901.4: A fire alarm system shall be modified to supervise the automatic fire sprinkler system. The system shall be modified in accordance with the National Fire Protection Association's pamphlet #72, **National Fire Alarm Code** the 2002 edition and Section 907 of the IFC, 2003 edition. Plans, specifications and battery calculations shall be provided to this office for review. **This modification requires a separate construction permit through this office.**

These comments shall not be meant to exclude any applicable requirements adopted by the Sedona Fire District or other regulatory agency. The adopted fire code is based on the 2003

edition of the International Fire Code with amendments as approved by the Arizona State Fire Marshal.

Inspections required by the fire code, to ensure that these requirements have been satisfied, shall be scheduled through this office. Proof of these inspections shall be submitted by you to the City of Sedona Community Development Department prior to a certificate of occupancy being issued.

As of February 27, 2008 the Sedona Fire District adopted a fee for service schedule. Service fees include construction plan reviews and inspections.

If you have any questions concerning these comments please feel free to contact me at (928) 204-8907 or gjohnson@sedonfire.org.

Sincerely,



Gary J. Johnson
District Fire Marshal

C: Mr. Ned Sawyer
Sawyer Architecture
16420 North 92nd Street
Suite 205
Scottsdale, AZ 85260

Mr. Ed Nelson
Manger
Sedona Super 8
2545 West State Route 89A
Sedona, AZ 86336

Cari Meyer - RE: City of Sedona Development Application (Super 8)

From: Nathan Reisner <NReisner@azdot.gov>
To: Cari Meyer <CMeyer@sedonaaz.gov>
Date: 10/19/2015 10:48 AM
Subject: RE: City of Sedona Development Application (Super 8)

Cari,

If the developer is anticipating gaining access off of SR 89A a permit application needs to be provided.

Nate Reisner, P.E.
Northcentral District Development Engineer

1801 S. Milton Rd., Mail Drop F568
 Flagstaff, AZ 86001-6311

[928-779-7545](tel:928-779-7545)



From: Cari Meyer [CMeyer@sedonaaz.gov]
Sent: Thursday, October 15, 2015 5:11 PM
Subject: City of Sedona Development Application (Super 8)

****I use the same distribution list for all new development projects. If the project(s) on this list are not in your county or area of service, do not feel obligated to respond, but feel free to contact me with any questions you have or clarifications you may need.****

The City of Sedona Community Development Department has received the following application and is requesting your review.

1. **PZ15-00013 (Development Review) Super 8 Hotel Exterior Facade Remodel at 2545 W State Route 89A (APN 408-24-018).** The property is in *Yavapai County*. As a final review, comments should focus on the accuracy and completeness of all information provided and whether the plans submitted meet your agency's requirements. The applicant is requesting approval of a Development Review to allow for an exterior facade renovation. The property is zoned C-2 (General Commercial).

Please review the materials at the link below. I would appreciate getting comments by **Thursday, October 29, 2015**.

Cari Meyer - RE: City of Sedona Development Application (Super 8)

From: Robert Mumper <Robert.Mumper@yavapai.us>
To: 'Cari Meyer' <CMeyer@sedonaaz.gov>
Date: 10/16/2015 12:26 PM
Subject: RE: City of Sedona Development Application (Super 8)

Hi Cari,

Yavapai County Community Health Services (YCCHS) has no concerns regarding the scope of this project. If you have any questions, please do not hesitate to contact me.

Sincerely,

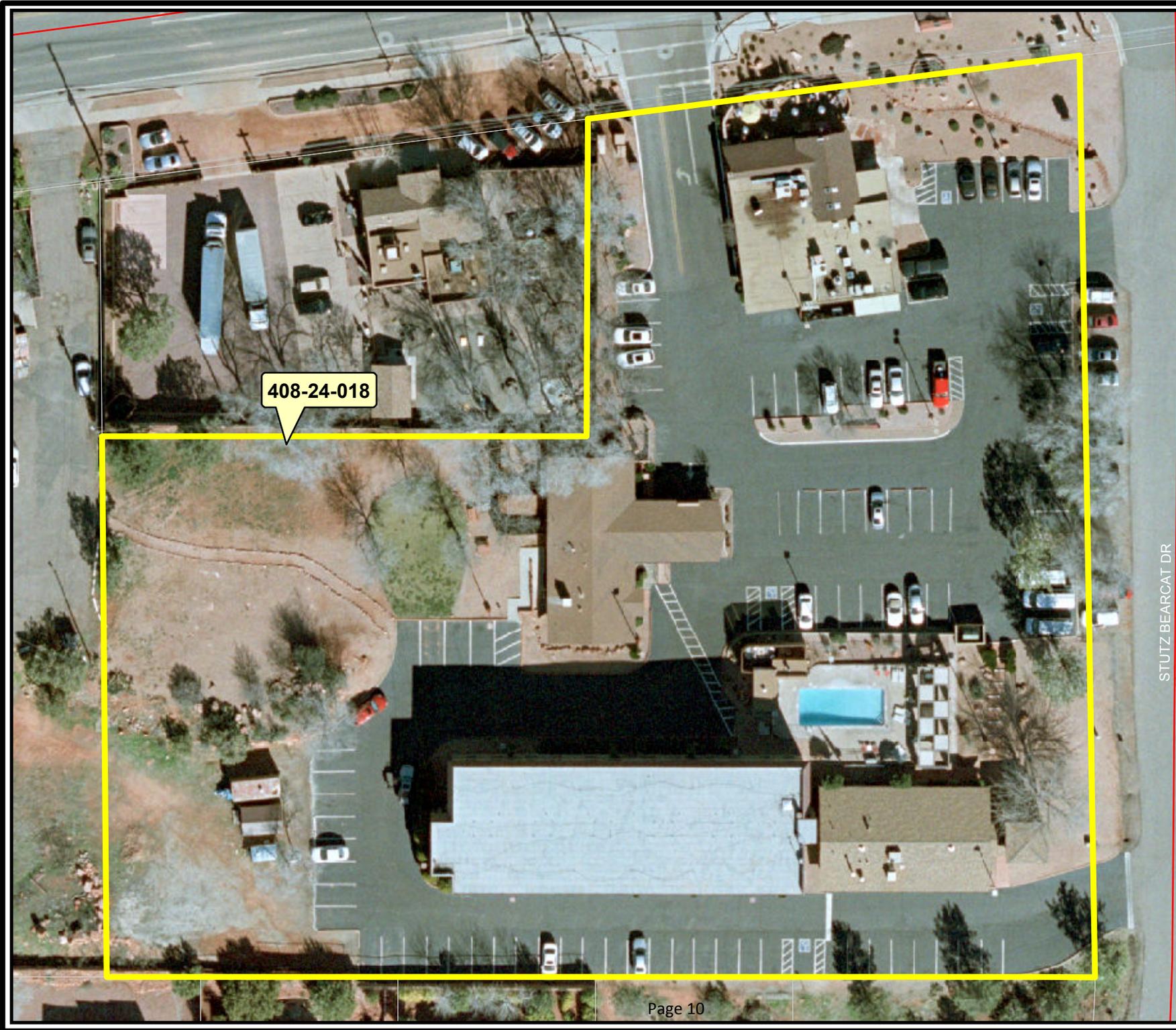
Robert Mumper, RS
Environmental Health Specialist III
Yavapai County Community Health Services
[\(928\) 634-6891](tel:9286346891)

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Sent: Thursday, October 15, 2015 5:11 PM
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Aerial View

Parcel
#408-24-018
Super 8 Motel

-  Parcel #408-24-018
-  Parcel Boundary
-  Street Centerline

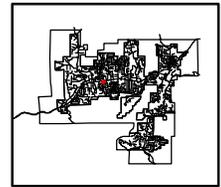
408-24-018

STUTZ BEARCAT DR



0 15 30 Feet

City Index



GIS, City of Sedona
09/05/2015
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ednelson_super8/mxd/
408-24-018_aerial.mxd



This map is designed to provide information about Sedona, and has been prepared for general planning and informational purposes only. It is not necessarily accurate to engineering or surveying standards. Every effort has been made to make this map as complete and as accurate as possible; however, no warranty of fitness is implied.

The information is provided on an "as is" basis. The City of Sedona shall have neither liability nor responsibility to any person or entity with respect to any loss or damages in connection with or arising from the information contained on this map.

Vicinity Map

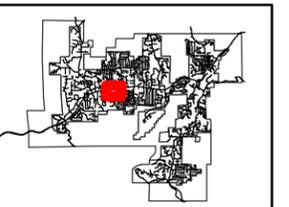
Parcel #
408-24-018
Super 8 Motel

- Parcel #408-24-018
- Zoning Boundary
- Building Footprint
- Parcel Boundary
- Trail
- Street Centerline



0 55 110 Feet

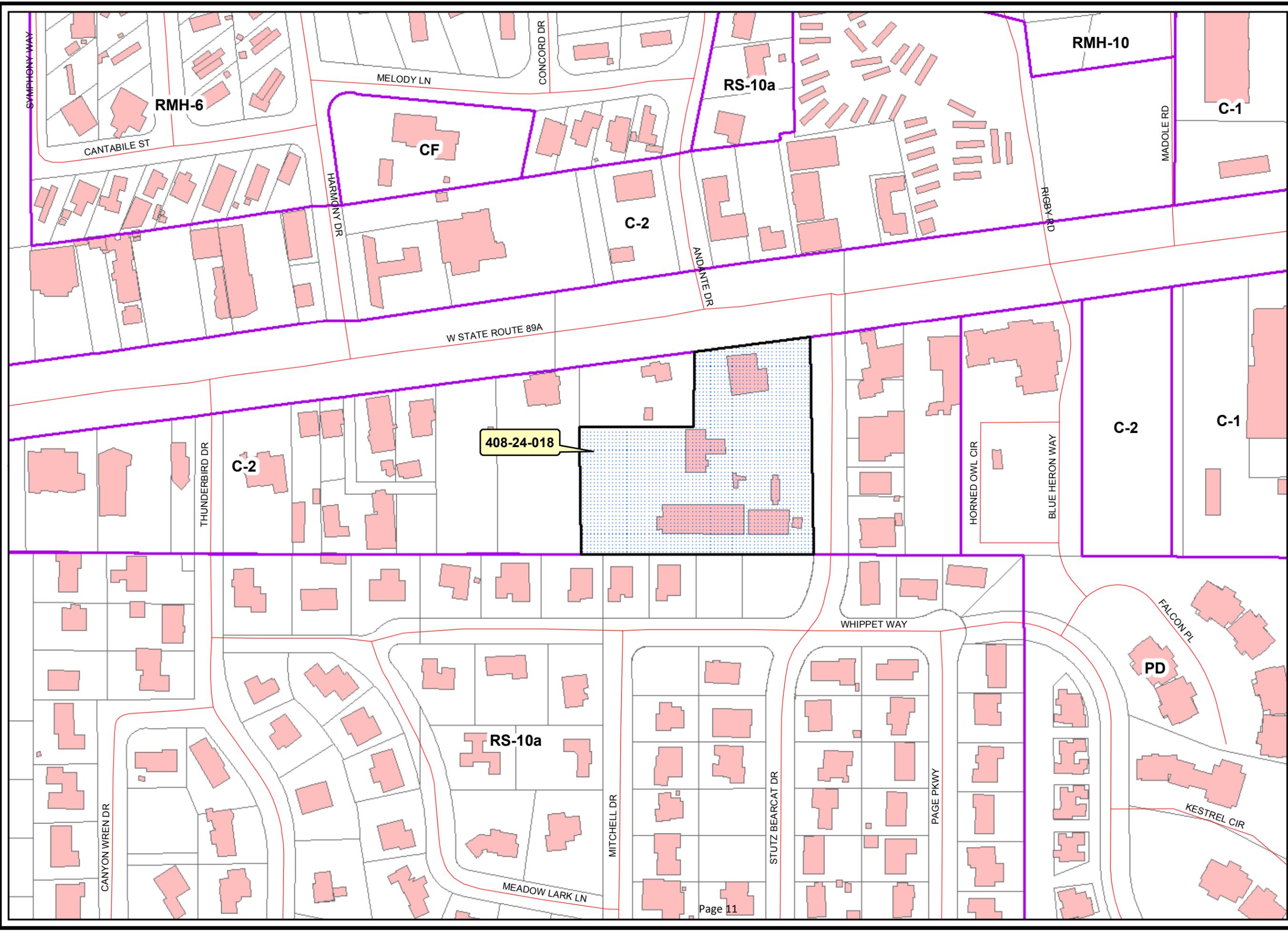
City Index



GIS, City of Sedona
09/05/2015
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408-24-018

Project Application



City Of Sedona

Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • Fax: (928) 204-7124

The following application is for:

- | | | | |
|---|---------------------------------------|---|---|
| <input type="checkbox"/> Conceptual Review | <input type="checkbox"/> Final Review | <input type="checkbox"/> Appeal | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Variance | |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Zone Change | <input type="checkbox"/> Major Community Plan Amendment | <input type="checkbox"/> Minor Community Plan Amendment |

PROJECT CONTACT:	Ned Sawyer	Phone:		App. #:	
Address:	16420 N. 92nd Street #205, Scottsdale, AZ 85260	Cell Phone:	602-791-4315	Date Rec'd:	
E-mail:	ned@sawyerarch.com	Fax:		Rec'd by:	
PROJECT NAME:	Sedona Super 8 Balcony Addition	Parcel #:	408-24-018	Fee Pd:	
Project Address/ Location:	2545 W. Highway 89A, Sedona, AZ 86336	Acres:	2.66 acres	Zoning:	

Project Description:	Balcony Addition
----------------------	-------------------------

OWNER NAME:	Railroad Inn LLC	APPLICANT NAME:	Railroad Inn LLC
Address:	7337 E. Doubletree #290, Scottsdale, AZ 85258	Company Name:	Railroad Inn LLC
Phone:	480-949-1713	Address:	7337 E. Doubletree #290, Scottsdale, AZ 85258
Cell Phone:		Phone:	480-949-1713
E-mail:	exec@camelbackhotel.com	Cell Phone:	
		E-mail:	exec@camelbackhotel.com
ARCHITECT/ ENGINEER:	Ned Sawyer	AUTHORIZED AGENT/OTHER:	Ed Nelson, Manager
Company Name:	EDWARD B. SAWYER JR AIA ARCHITECT	Company Name:	Sedona Super 8 / Railroad Inn LLC
Address:	16420 N. 92nd Street #205, Scottsdale, AZ 85260	Address:	2545 W. Highway 89A, Sedona, AZ 86336
E-mail:	ned@sawyerarch.com	E-mail:	ed@camelbackhotel.com
Phone:		Phone:	928-282-1533
Cell Phone:	602-791-4315	Cell Phone:	928-821-1606
ID #/Exp. Date:	ARIZONA #8059		
City Business License #:			

LETTER OF INTENT
SUPER-8 HOTEL REMODEL

1. Site Design:

Located in West Sedona on State Route 89A the project consists of a three story hotel and ancillary functions such as a separate lobby, pool and meeting room. No additional enclosed area will be incorporated. The desire is to upgrade the existing facility and offer the patrons a higher quality experience.

2. Drainage Way Design:

Drainage patterns are existing and will remain the same.

3. Building Placement and Orientation:

The existing structure is oriented with its long axis running East and West, no changes will be made.

4. Linkage and Circulation:

Existing no revisions anticipated.

5. Parking:

Parking will be modified on the South side of the hotel to one-way. This will provide more landscaping next to the building and also adjacent properties to the south.

6. Exterior Lighting:

Lighting is existing and will remain.

7. Signage:

Signage is existing and will remain.

8. Building Equipment and Services:

Loading and refuse enclosures are existing and will and will remain. Mechanical equipment is existing and ground mounted within and enclosure.

9. Fences and Walls:

All existing fences and walls to remain such as mechanical enclosure and pool fence. New sandblasted masonry screen walls will be added on the ground floor.

10. Architectural Character and Building Form:

The existing Hotel Building is remodeled with the addition of steel framed balconies and grey glass guardrails on the North and South sides. The existing tile mansard will be removed and on the ground floor sandblasted masonry patio screen walls will be added. The colors proposed incorporate the colors of adjacent nearby rock outcroppings. Steel to be painted in simulated corten rusted steel paint and the stucco painted in two tones relating to the lighter parts of the red cliffs. The exposed steel balconies and colors are designed to bring an updated and upscaled image to the outdated existing structure.

11. Landscape:

The landscape is existing around the site and additional new landscape will be added adjacent to the building where the balcony structures occur. Adjacent to the 45 degree parking new planter areas were created to help buffer the adjacent properties.

12. Article 9 SLDC:

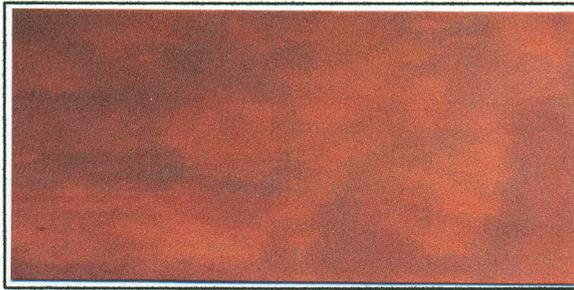
No additional interior square footing has been added and all yards and setbacks to remain with the exception of the new balconies on the South elevation.

13. Section 401.06 LDC:

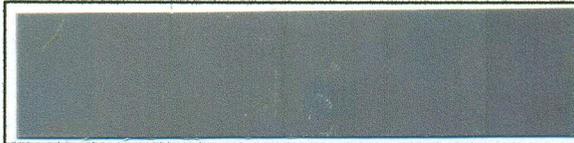
This project is not new building only the remodel of an existing building.

14. Public Art:

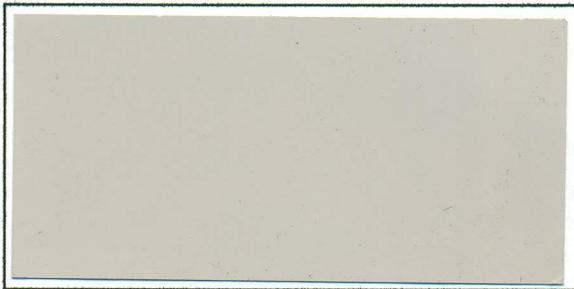
None proposed for this existing complex.



STEEL STRUCTURE
SIMULATED CORTEN PAINT



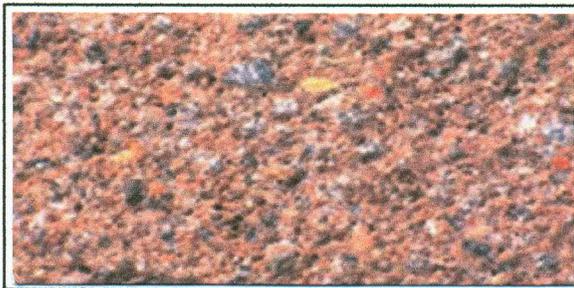
GLASS BALCONY RAILING
TEMPERED SOLAR GRAY



STUCCO WALL



STUCCO ACCENT BAND

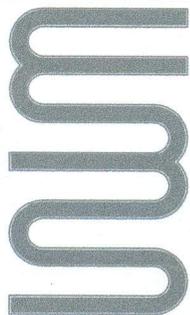
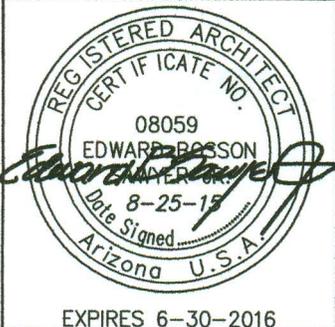


SANDBLASTED MASONRY

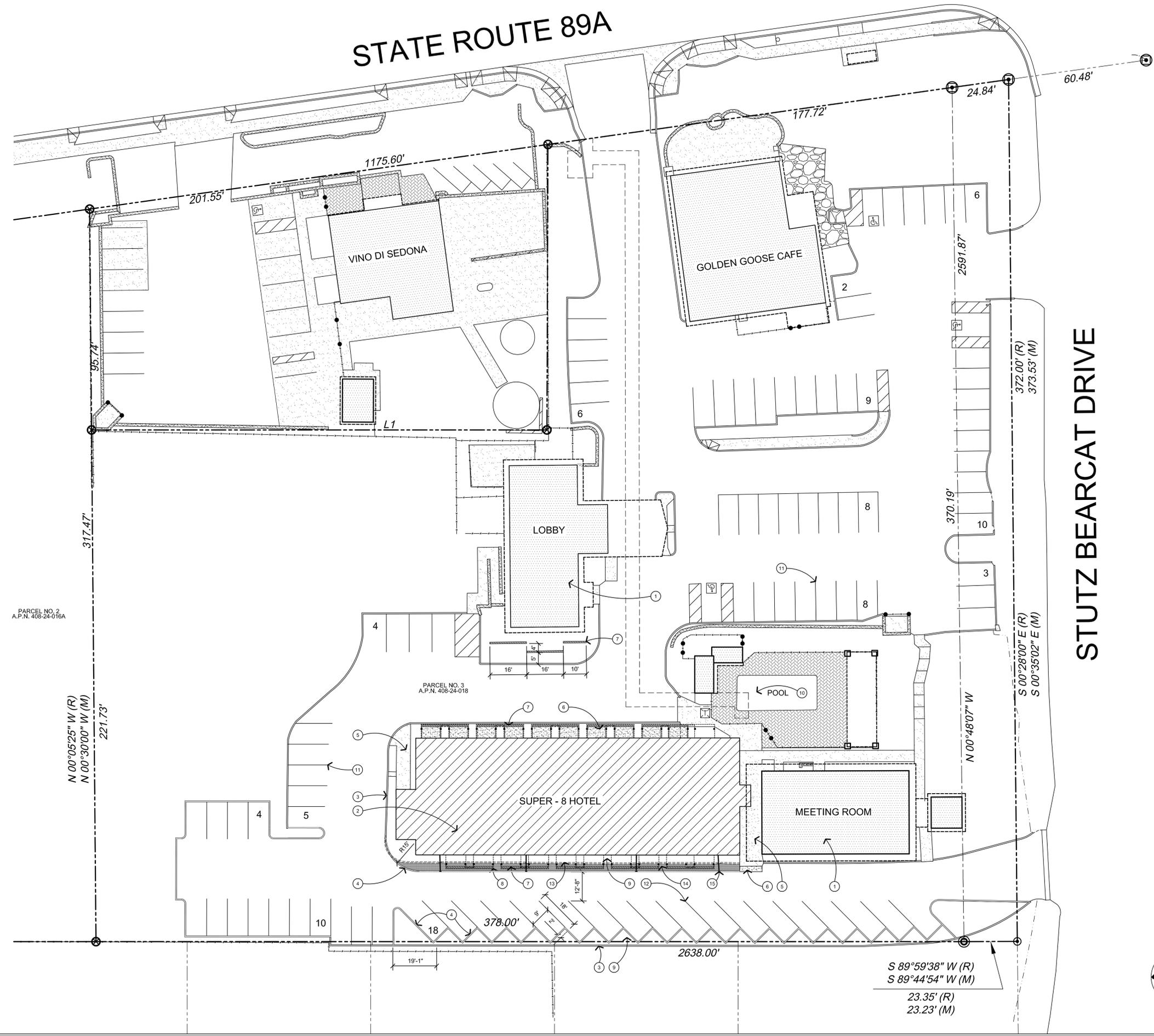
SUPER-8 HOTEL

**PROPOSED
MATERIALS & COLORS**

8-25-15



STATE ROUTE 89A



- ### KEYNOTES
- INDICATES EXISTING STRUCTURE
 - INDICATES CURRENT PROJECT
 - EXISTING CONC CURB
 - NEW 6" CONCRETE CURB
 - EXISTING CONCRETE SLAB
 - NEW CONC SLAB ON GRADE
 - 3'-4" HIGH 8x4x16 CMU WALL W/ SANDBLASTED FINISH
 - LINE OF BALCONY ABOVE
 - PLANTING
 - EXISTING POOL
 - EXISTING PARKING
 - RESTRIPING OF EXISTING PARKING
 - REMOVE EXISTING CURB AS INDICATED
 - REMOVE EXISTING ASPHALT PAVING AS INDICATED
 - EXTEND EXISTING ROOF DRAINS THRU CURB TO EDGE OF PAVING

PROJECT DATA

ADDRESS: 2545 STATE ROUTE 89A
 ZONING: C-2
 LOT AREA: 116,718 S.F. = 2.679 ACRES

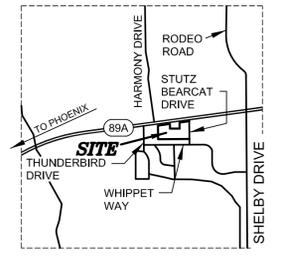
LEGAL

OF A PORTION OF THE SOUTH HALF OF SECTION 11, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA

Parcel No. 3:
 A portion of the South half of Section 11, Township 17 North, Range 5 East of the Gila and Salt River Base and Meridian, Yavapai County, Arizona, more particularly described as follows:
 BEGINNING at the South quarter corner of said Section 11, a brass cap, and also being the TRUE POINT OF BEGINNING;
 THENCE North 89 degrees 59 minutes 38 seconds West, a distance of 378.00 feet to a point;
 THENCE North 0 degrees 05 minutes 25 seconds East, a distance of 221.73 feet to a 1/2 inch rebar;
 THENCE East, a distance of 198.30 feet to a 1/2 inch rebar;
 THENCE North 0 degrees 13 minutes 00 seconds East, a distance of 123.54 feet to a 1/2 inch rebar on the South right of way line of U.S. Highway 89A;
 THENCE North 92 degrees 19 minutes 00 seconds East along the right of way line, a distance of 201.00 feet to 1/2 inch rebar;
 THENCE South 0 degrees 28 minutes 00 seconds East, a distance of 372.00 feet to a point;
 THENCE North 89 degrees 59 minutes 38 seconds West, a distance of 23.35 feet to the TRUE POINT OF BEGINNING.

CODES

2006 INTERNATIONAL RESIDENTIAL CODE
 2006 INTERNATIONAL BUILDING CODE
 2006 INTERNATIONAL MECHANICAL CODE
 2006 INTERNATIONAL PLUMBING CODE
 2006 INTERNATIONAL FUEL GAS CODE
 2005 NATIONAL ELECTRIC CODE



VICINITY MAP
NOT TO SCALE



SITE PLAN
SCALE: 1" = 20'-0"



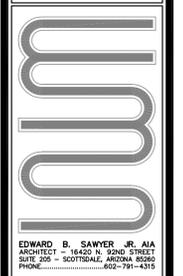
SUPER 8 HOTEL SEDONA, ARIZONA

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CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES, CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ALL DISCREPANCIES MUST BE REPORTED IN WRITING TO THE ARCHITECT.

SITE PLAN

SCALE: 1" = 20'-0"



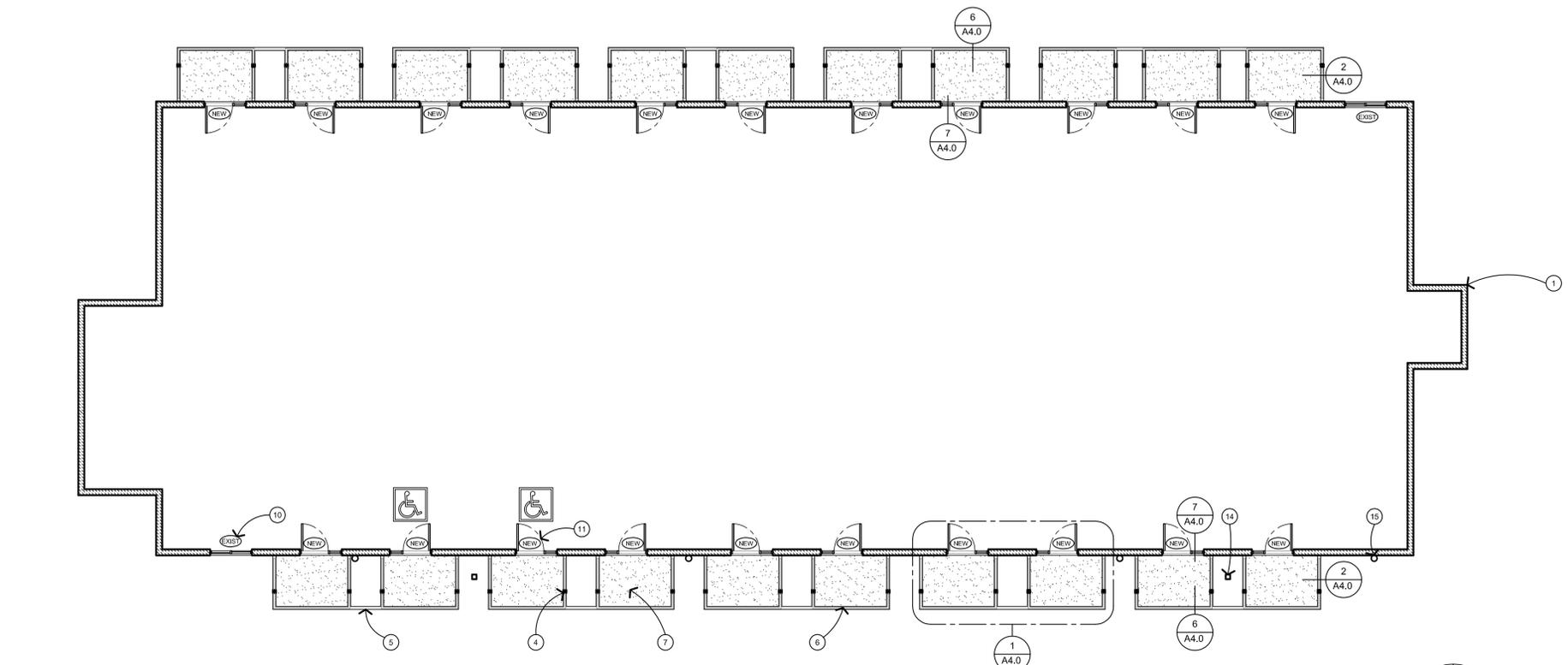
EDWARD B. SAWYER, JR., AIA
 ARCHITECT - 16420 N. 92ND STREET
 SUITE 205 - SCOTTSDALE, ARIZONA 85050
 PHONE: 602-791-4315

DATE	9-21-15
SHEET	OF
A1.0	7

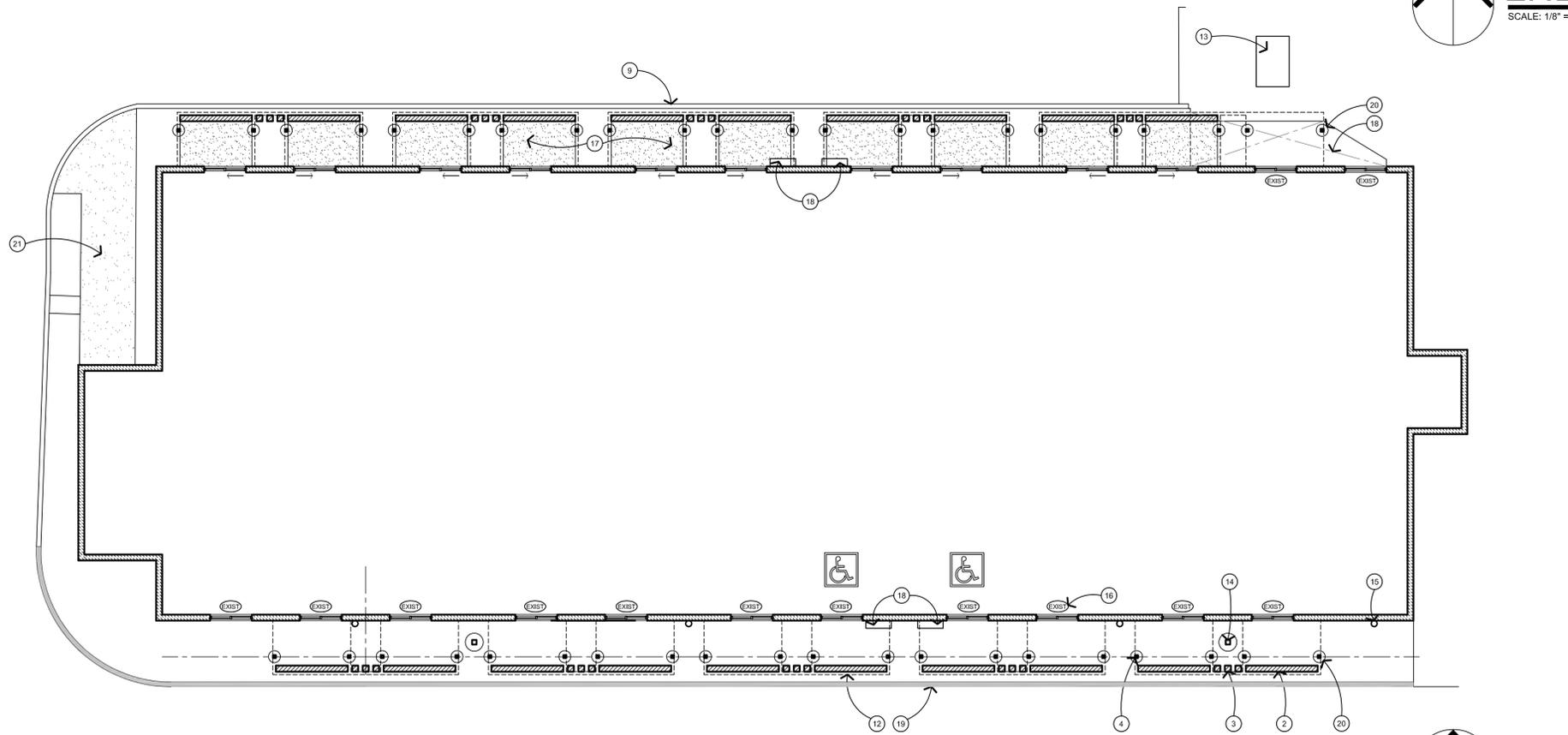


**SUPER 8 HOTEL
SEDONA, ARIZONA**

- KEYNOTES**
- EXIST CMU WALL W/ STUCCO FINISH
 - 8x4x16 CMU WALL SANDBLASTED FINISH
 - 8x8 CMU PIER SANDBLASTED FINISH
 - 4 x 4 STEEL TUBE COLUMN
 - 4 x 8 STEEL BEAM FRAME
 - 2 x 2 STEEL TUBE GUARDRAIL
 - CONCRETE SLAB ON METAL DECK
 - 4" CONCRETE SLAB ON GRADE
 - EXIST 6" CONCRETE CURB
 - EXIST SLIDING WINDOW
 - NEW 36" STOREFRONT DOOR AND SIDELIGHT
 - LINE OF BALCONY ABOVE
 - EXIST ELECTRICAL TRANSFORMER
 - EXIST POLE LIGHT
 - EXIST ROOF DRAIN
 - INDICATES EXISTING WINDOW
 - 4" CONCRETE SLAB ON GRADE
 - SAWCUT AND REMOVE EXIST CONC THIS AREA
 - NEW 6" CONCRETE CURB
 - 16"Ø CONC AROUND STL COLUMN SEE DTL 3/A4.1
 - EXISTING CONC SLAB



2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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1ST & 2ND FLOOR PLANS
SCALE: 1/8" = 1'-0"



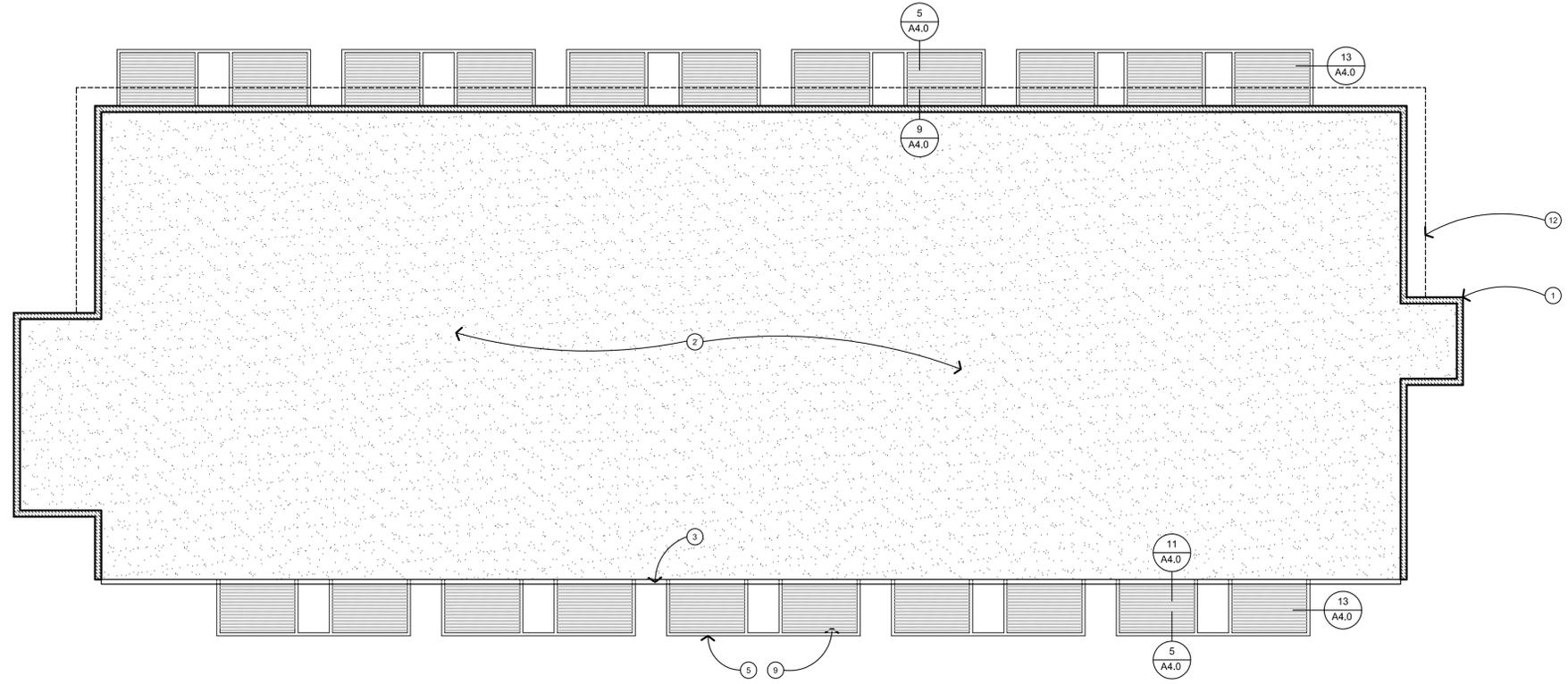
EDWARD B. SAWYER, JR., AIA
ARCHITECT - 16420 N. 92ND STREET
SUITE 205 - SCOTTSDALE, ARIZONA 85066
PHONE - 602-791-4315

DATE 8-15-15

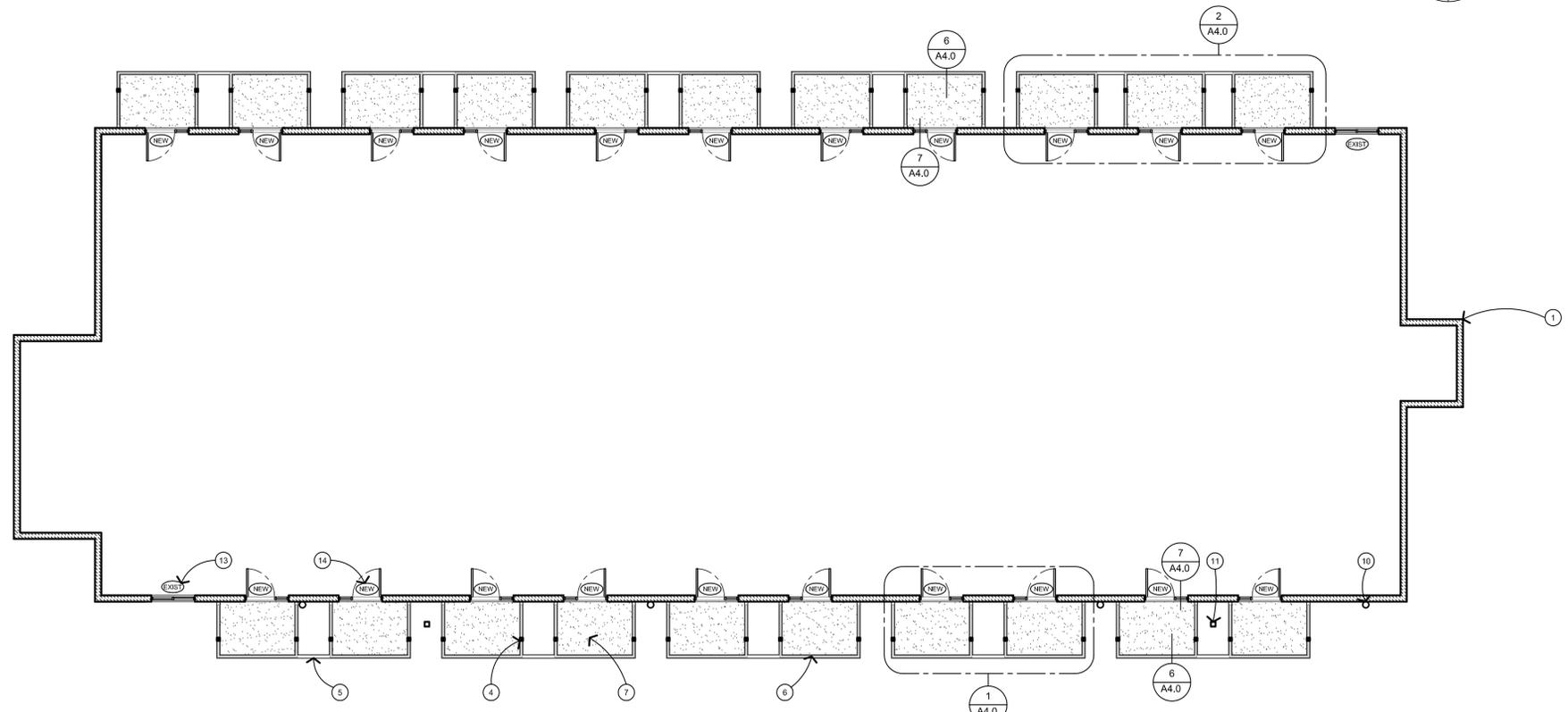
SHEET OF
A2.0 7



- KEYNOTES**
- EXIST CMU WALL W/ STUCCO FINISH
 - EXISTING ROOF
 - EXIST GUTTER & DOWN SPOUTS
 - 4 x 4 x 1/4 STEEL TUBE COLUMN
 - W8 x 15 STEEL BEAM FRAME
 - 2 x 2 STEEL TUBE GUARDRAIL
 - CONCRETE SLAB ON METAL DECK
 - NEW SLIDING GLASS DOOR
 - METAL LATTICE DRYWALL FURRING CHANNELS @ 4" o.c.
 - EXISTING ROOF DRAIN
 - EXISTING LIGHT POLE
 - REMOVE EXISTING MANSART OVERHANG & PATCH & FINISH WALL TO MATCH EXISTING WALL
 - EXIST SLIDING WINDOW
 - NEW 36" STOREFRONT DOOR AND SIDELIGHT



ROOF PLAN
SCALE: 1/8" = 1'-0"



3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"

**SUPER 8 HOTEL
SEDONA, ARIZONA**

**3RD FLOOR PLAN &
ROOF PLAN**
SCALE: 1/8" = 1'-0"

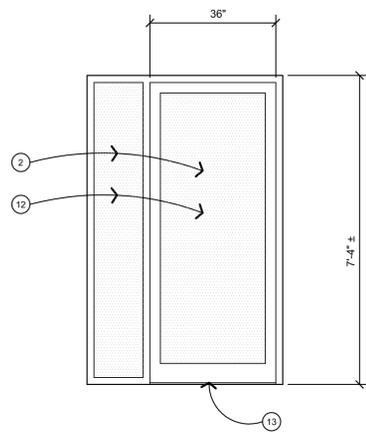
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EDWARD B. SAWYER, JR., AIA
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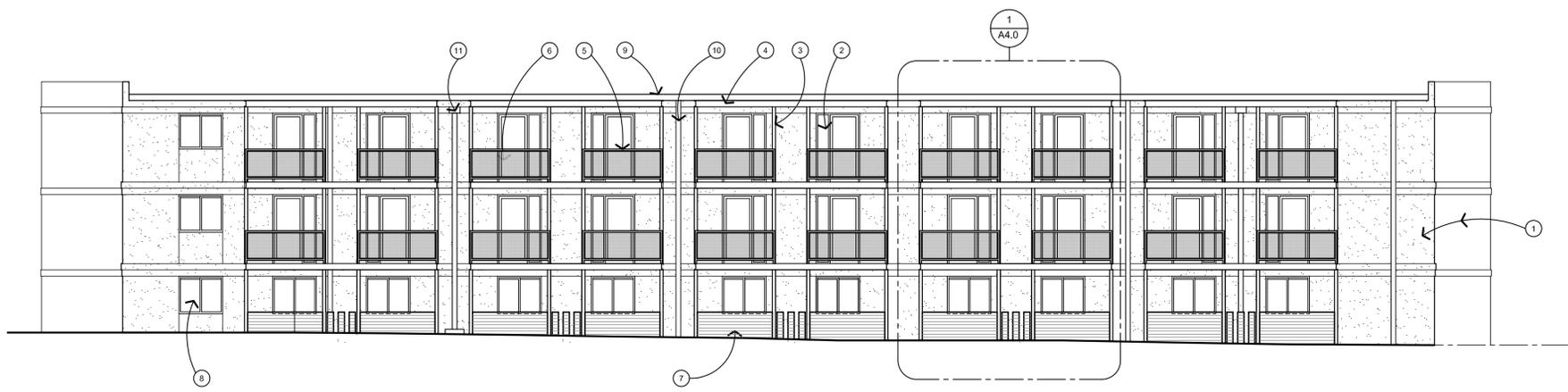
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SHEET	OF
A2.1	7



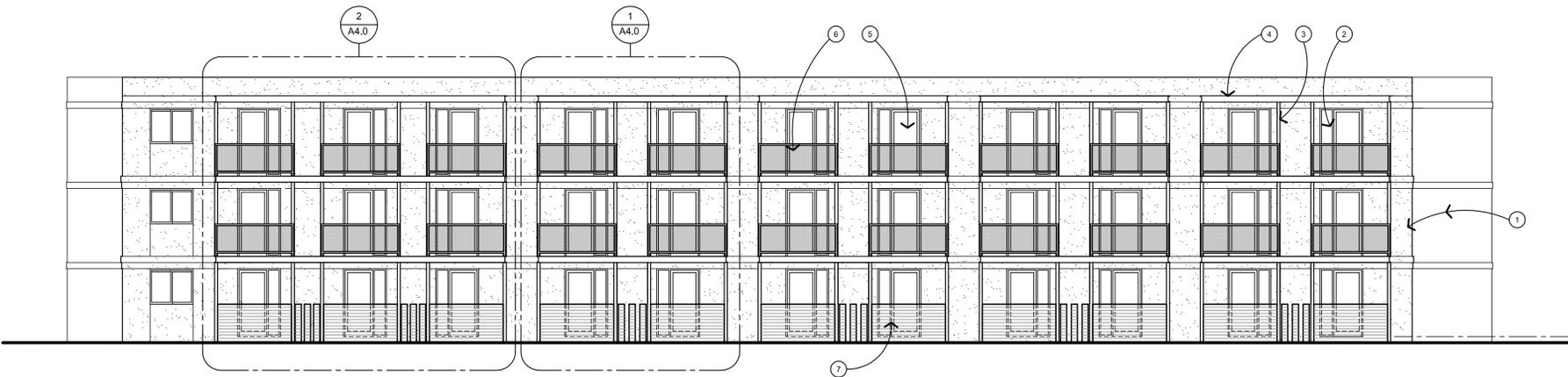
- KEYNOTES**
1. EXIST CMU WALL W/ STUCCO FINISH
 2. NEW 36" STOREFRONT DOOR AND SIDELIGHT
 3. 4 x 4 x 1/4 STEEL TUBE COLUMN
 4. W8 x15 STEEL BEAM
 5. 2 x 2 STEEL TUBE GUARDRAIL
 6. TEMPERED SOLAR GREY GLASS
 7. 8x4x16 CMU WALL W/ SANDBLASTED FINISH SEE DTL 10/A4.1
 8. EXISTING WINDOW
 9. EXISTING GUTTER
 10. EXISTING ROOF DRAIN
 11. EXISTING LIGHT POLE
 12. TEMPERED GLASS
 13. ALUMINUM THRESHOLD



TYP STOREFRONT DOOR
SCALE: N.T.S.



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

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PHONE - 602-791-4315

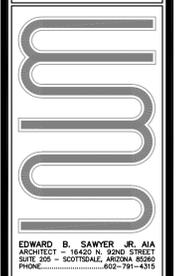
DATE	8-15-15
SHEET	A3.0
OF	7



**SUPER 8 HOTEL
SEDONA, ARIZONA**

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BALCONY DETAILS
SCALE: 3/8" = 1'-0"



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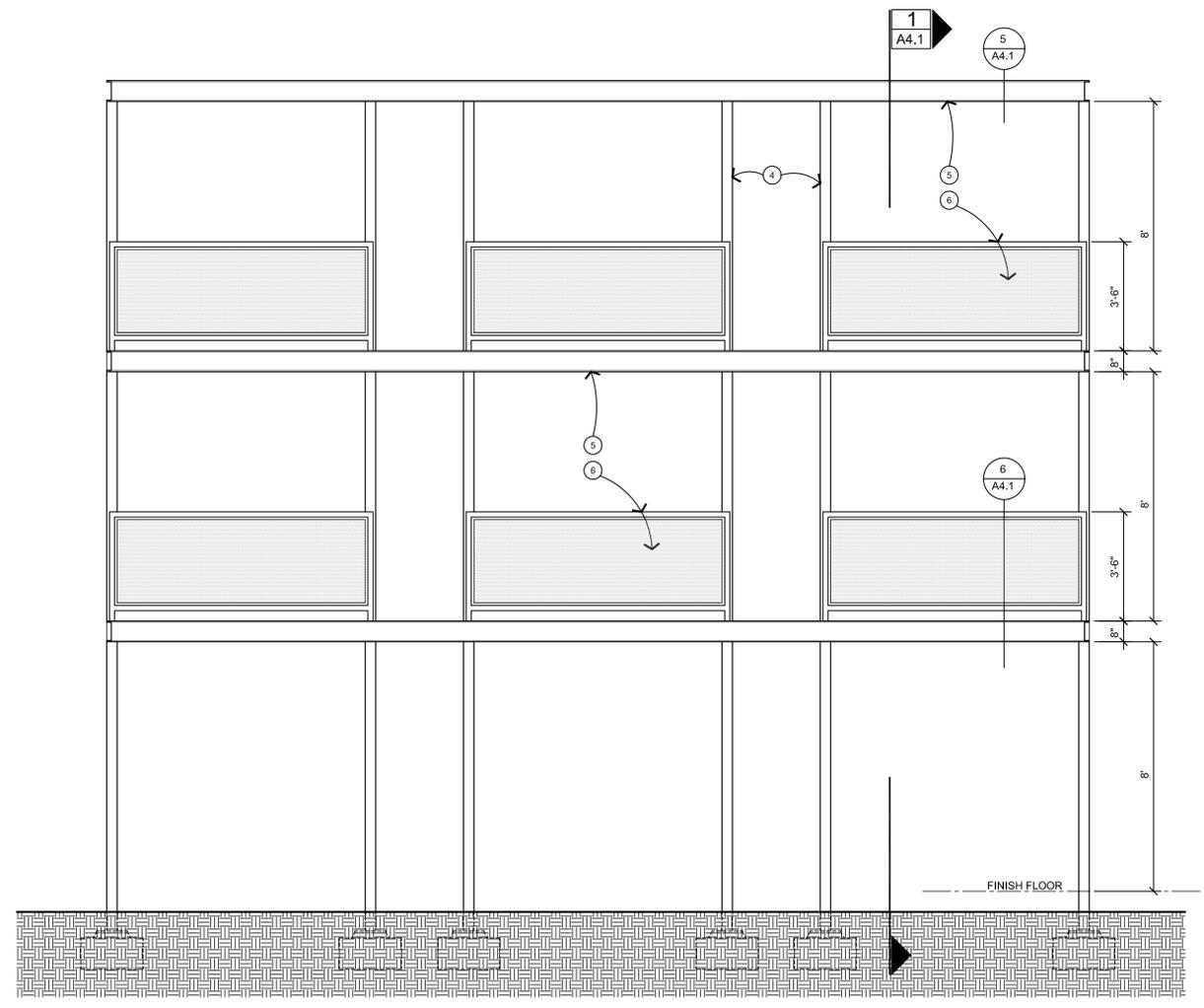
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SHEET OF
A4.0 7

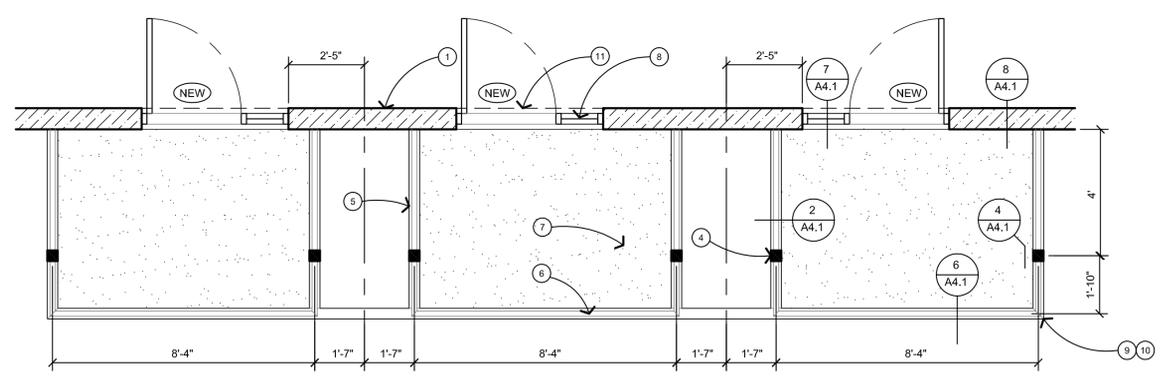
- KEYNOTES**
- EXIST CMU WALL W/ STUCCO FINISH
 - 8x4x16 CMU WALL W/ SANDBLASTED FINISH SEE DTL 10/A4.1
 - FINISH GRADE VARIES
 - 4 x 4 x 1/4 STEEL TUBE COLUMN
 - W8 x 15 STEEL BEAM FRAME
 - 2 x 2 STEEL TUBE GUARDRAIL THREE SIDES W/ TEMPERED SOLAR GREY GLASS PANELS
 - CONCRETE SLAB ON METAL DECK
 - NEW 36" STOREFRONT DOOR AND SIDELIGHT
 - MITER STEEL BEAMS, WELD CONT & GRIND SMOOTH
 - MITER STEEL GUARDRAIL, WELD CONT & GRIND SMOOTH
 - REMOVE WALL BELOW EXISTING WINDOW TYP. PATCH & FINISH TO MATCH EXISTING READY TO RECEIVE NEW SLIDING GLASS DOOR

GENERAL NOTES

A. FIELD VERIFY ALL DIMENSIONS

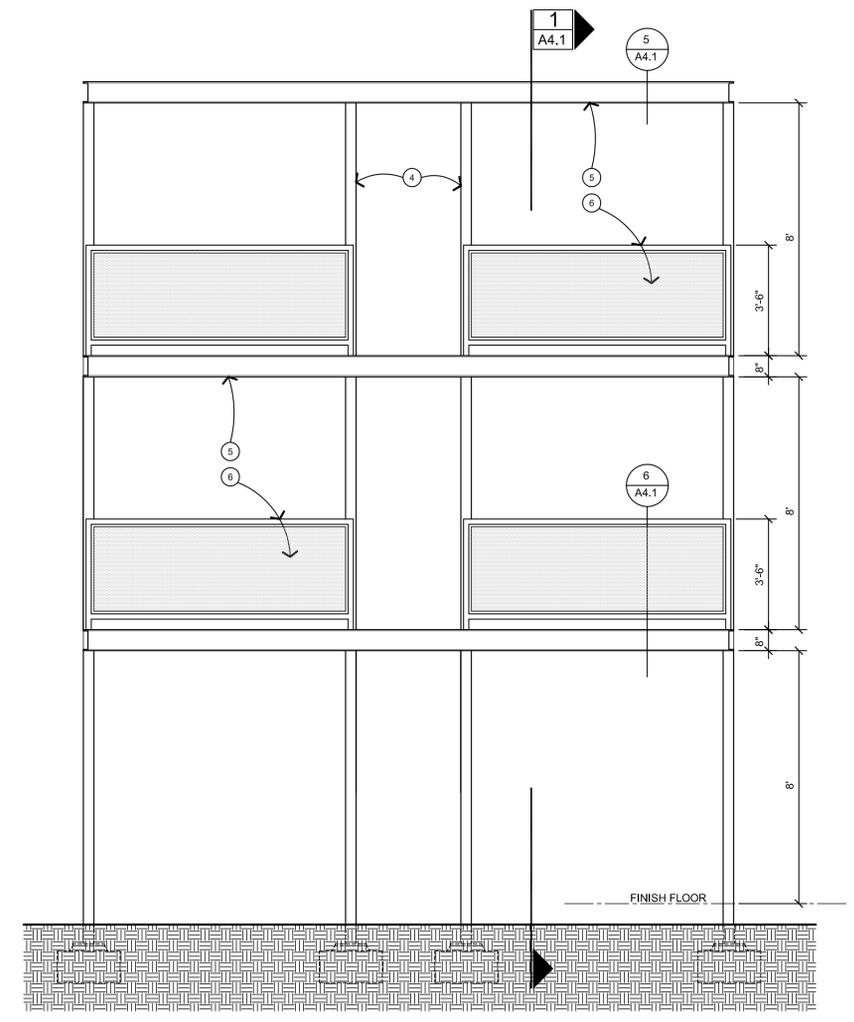


ELEVATION

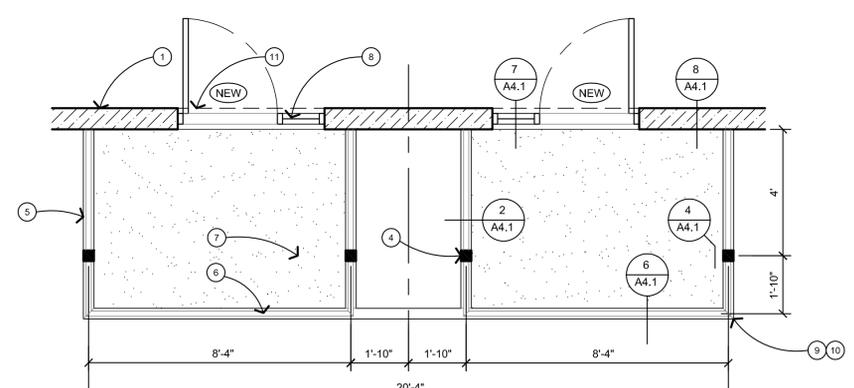


PLAN

2 TYPICAL BALCONY - B SCALE: 3/8" = 1'-0"



ELEVATION



PLAN

1 TYPICAL BALCONY - A SCALE: 3/8" = 1'-0"



**SUPER 8 HOTEL
SEDONA, ARIZONA**

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DETAILS
SCALE: AS SHOWN



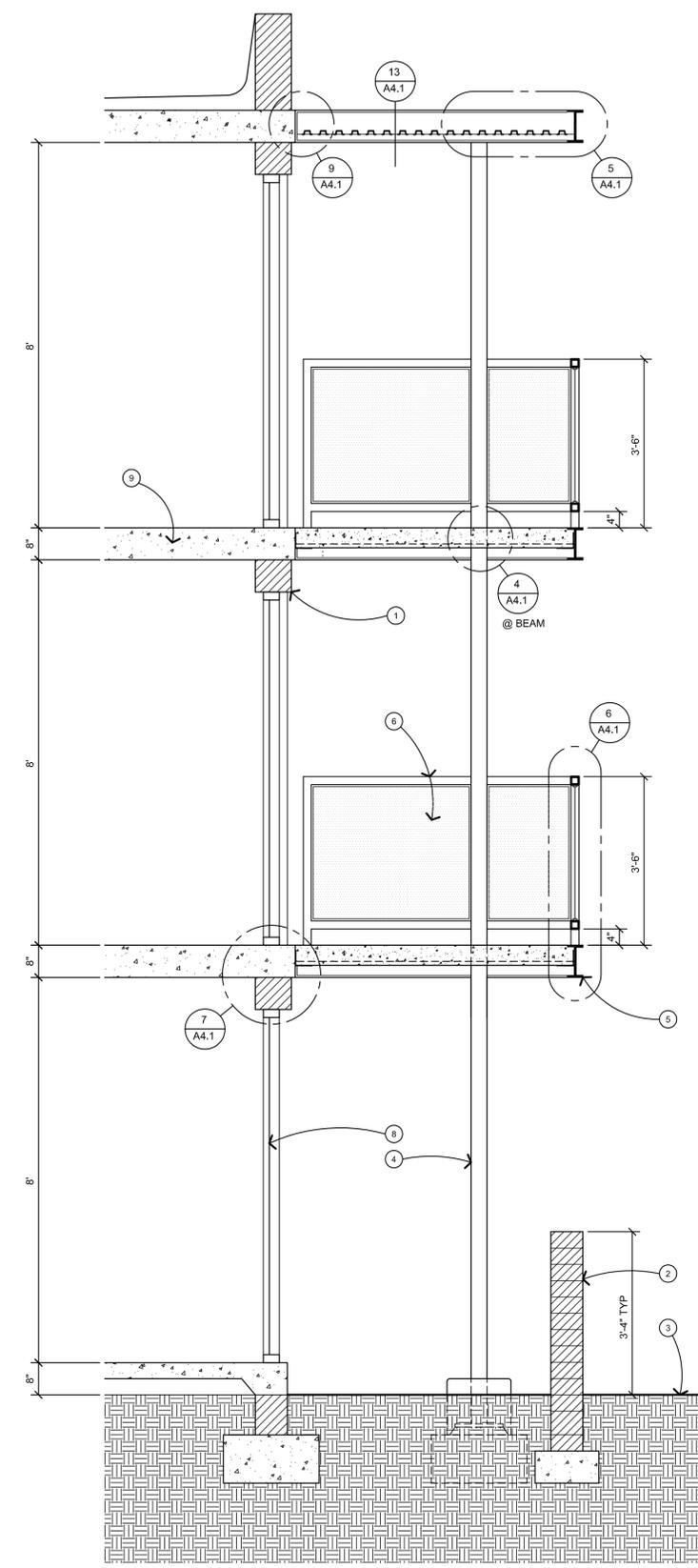
EDWARD B. SAWYER, JR., AIA
ARCHITECT - 16420 N. 92ND STREET
SUITE 205 - SCOTTSDALE, ARIZONA 85066
PHONE - 602-791-4315

DATE 8-15-15

SHEET OF
A4.1 7

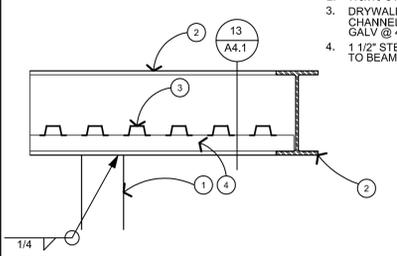
KEYNOTES

- EXIST CMU WALL W/ STUCCO FINISH
- 8x4x16 CMU WALL W/ SANDBLASTED FINISH SEE DTL 10/A4.1
- FINISH GRADE VARIES
- 4 x 4 x 1/4 STEEL TUBE COLUMN
- W8x15 STEEL BEAM FRAME
- 2 x 2 STEEL TUBE GUARDRAIL THREE SIDES W/ TEMPERED SOLAR GREY GLASS PANELS
- CONCRETE SLAB ON METAL DECK
- NEW 36" STOREFRONT DOOR AND SIDELIGHT
- EXIST CONC SLAB



KEYNOTES

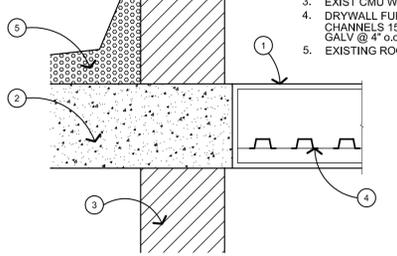
- HSS 4x4x1/4 STEEL COL
- W8x15 STEEL BEAM
- DRYWALL FURRING CHANNELS 150F 125-43 GALV @ 4" o.c.
- 1 1/2" STEEL TUBE WELD TO BEAM BEYOND



13 METAL LATTICE SCALE: N.T.S.

KEYNOTES

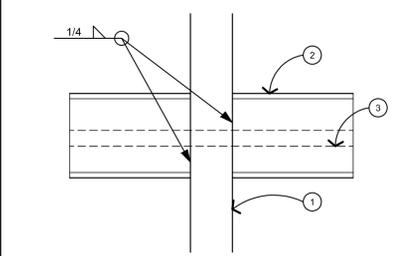
- W8x15 STL BEAM BEYOND
- EXIST CONCRETE SLAB
- EXIST CMU WALL
- DRYWALL FURRING CHANNELS 150F 125-43 GALV @ 4" o.c.
- EXISTING ROOFING



9 METAL LATTICE SCALE: N.T.S.

KEYNOTES

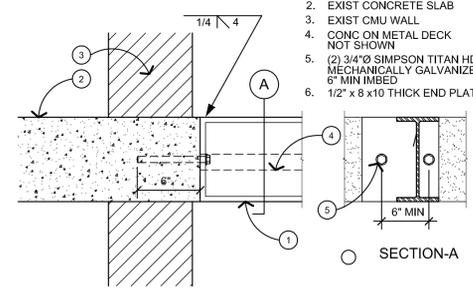
- HSS 4x4x1/4 STEEL COL
- W8x15 STEEL BEAM
- CONC ON METAL DECK NOT SHOWN



5 METAL LATTICE SCALE: N.T.S.

KEYNOTES

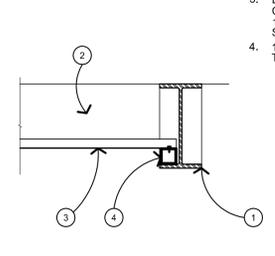
- W8x15 STEEL BEAM
- EXIST CONCRETE SLAB
- EXIST CMU WALL
- CONC ON METAL DECK NOT SHOWN
- (2) 3/4" x 3" SIMPSON TITAN HD MECHANICALLY GALVANIZED 6" MIN IMBED
- 1/2" x 8 x 10 THICK END PLATE



8 BEAM @ CONC SLAB SCALE: N.T.S.

KEYNOTES

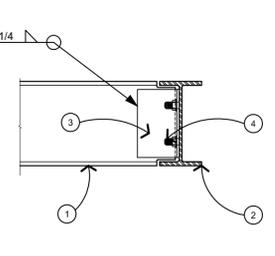
- W8x15 STL BEAM
- EXIST CMU WALL
- DRYWALL FURRING CHANNELS @ 4" o.c. 150F 125-43 GALV S.T.M.S. TO STEEL TUBE
- 1 1/2" STEEL TUBE WELD TO BEAM



13 METAL LATTICE SCALE: N.T.S.

KEYNOTES

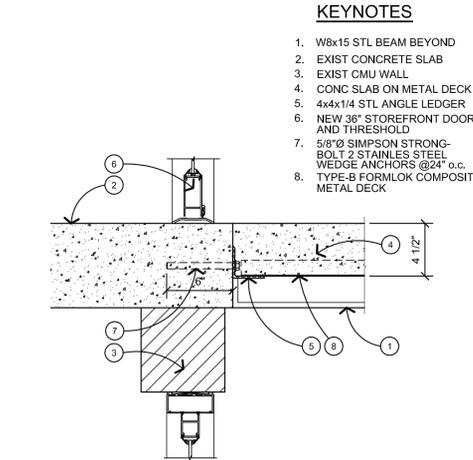
- W8x15 STL BEAM
- W8x15 STL FASCIA BEAM
- 4x4x1/4 STL ANGLE
- 5/8" STUDS WELDED TO FASCIA BEAM



12 BEAM TO BEAM SCALE: N.T.S.

KEYNOTES

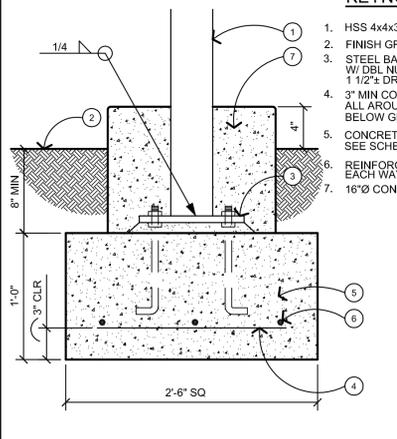
- W8x15 STL BEAM BEYOND
- EXIST CONCRETE SLAB
- EXIST CMU WALL
- CONC SLAB ON METAL DECK
- 4x4x1/4 STL ANGLE LEDGER
- NEW 36" STOREFRONT DOOR AND THRESHOLD
- 5/8" SIMPSON STRONG-BOLT 2 STAINLESS STEEL WEDGE ANCHORS @ 24" o.c.
- TYPE-B FORMLOK COMPOSITE METAL DECK



7 TYP BALCONY DECK SCALE: N.T.S.

KEYNOTES

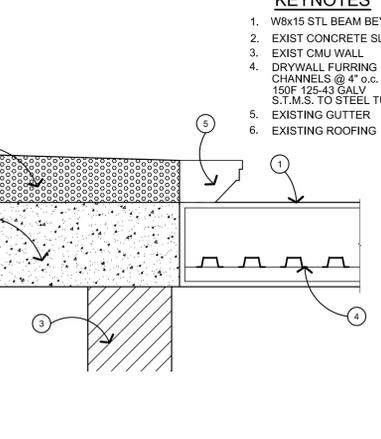
- HSS 4x4x3/16 STEEL COL
- FINISH GRADE
- STEEL BASE PLATE W/ DBL NUTS OVER 1 1/2" DRYPACK
- 3" MIN CONC COVER ALL AROUND STEEL BELOW GRADE
- CONCRETE FOOTING SEE SCHEDULE
- REINFORCING (3) #5 EACH WAY
- 16" CONCRETE COVER



4 COLUMN @ BEAM SCALE: N.T.S.

KEYNOTES

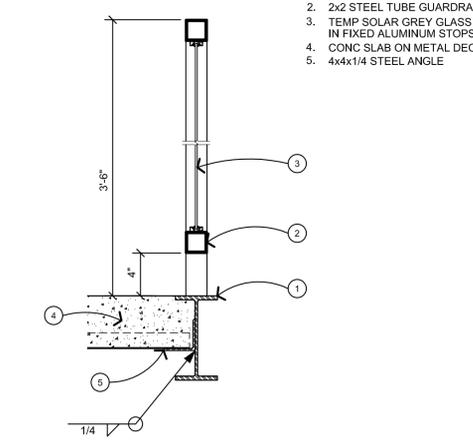
- W8x15 STL BEAM BEYOND
- EXIST CONCRETE SLAB
- EXIST CMU WALL
- DRYWALL FURRING CHANNELS @ 4" o.c. 150F 125-43 GALV S.T.M.S. TO STEEL TUBE
- EXISTING GUTTER
- EXISTING ROOFING



11 GUTTER DETAIL SCALE: N.T.S.

KEYNOTES

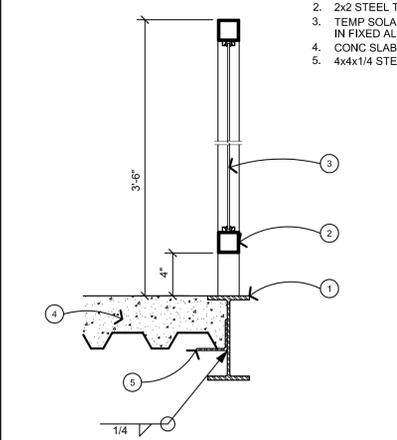
- W8x15 STEEL BEAM
- 2x2 STEEL TUBE GUARDRAIL
- TEMP SOLAR GREY GLASS IN FIXED ALUMINUM STOPS
- CONC SLAB ON METAL DECK
- 4x4x1/4 STEEL ANGLE



6 CONC DECK @ BEAM SCALE: N.T.S.

KEYNOTES

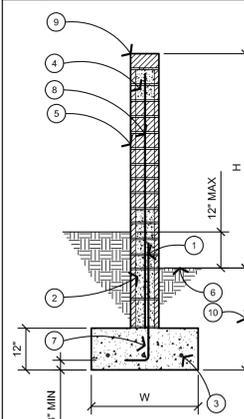
- W8x15 STEEL BEAM
- 2x2 STEEL TUBE GUARDRAIL
- TEMP SOLAR GREY GLASS IN FIXED ALUMINUM STOPS
- CONC SLAB ON METAL DECK
- 4x4x1/4 STEEL ANGLE



2 CONC DECK @ BEAM SCALE: N.T.S.

KEYNOTES:

- DOWELS TO MATCH & LAP VERT REINF PER GSN
- SOLID GROUT STEM TO HIGHEST ADJ FINISH GRADE
- FOOTING REINF SEE SCHEDULE
- 2 - #5 CONT IN 8" BB
- 8" CMU WALL SEE PLANS FOR TYPE
- LOWEST ADJ FINISH GRADE WITHIN 5'-0" OF FTG.
- CTR WALL ON FTG.
- "R" REINF CTRD IN WALL SEE SCHEDULE
- SOLID CAP BLOCK
- SEE SPECS - 18" MIN



10 FREE STANDING WALL SCALE: N.T.S.

RETAINING / REINFORCING SCHEDULE			
H	W	WALL REINF	FOOTING REINF
≤ 4'-0"	2'-0"	#5 @ 40" O.C.	2 # 5 CONT
4'-1" TO 8'-0" MAX	3'-9"	#5 @ 16" O.C.	4 #5 CONT



**SUPER 8 HOTEL
SEDONA, ARIZONA**

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SPECIFICATIONS



EDWARD B. SAWYER, JR., AIA
ARCHITECT - 16420 N. 92ND STREET
SUITE 200 - SCOTTSDALE, ARIZONA 85060
PHONE - 480-538-5132

DATE 8-15-15

SHEET OF
A5.0 7

BUILDING CODE:

2006 EDITION OF THE INTERNATIONAL BUILDING CODE.

FOUNDATIONS:

SPREAD FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL 18" MINIMUM BELOW ADJACENT FINISHED GRADE. FINISHED GRADE IS DEFINED AS TOP OF SLAB FOR INTERIOR FOOTINGS AND LOWEST ADJACENT GRADE WITHIN 5 FEET FOR PERIMETER FOOTINGS. DESIGN SOIL BEARING VALUE = 1500 PSF.

CONCRETE:

SPECIFIED 28 DAY COMPRESSIVE STRENGTH F_c:

FOUNDATIONS (DESIGN BASED ON 2,500 PSI)3,000 PSI
INTERIOR SLAB ON GRADE (NOT MOISTURE SENSITIVE)3,000 PSI
SLAB ON GRADE3,500 PSI

GENERAL:

ALL CAST-IN-PLACE CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE ACI. MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED UNLESS NOTED OTHERWISE. ADMIXTURES CONTAINING CHLORIDES SHALL NOT BE USED. NO OTHER ADMIXTURES PERMITTED WITHOUT APPROVAL. FOR CONCRETE WITHOUT PLASTICIZER, MAXIMUM SLUMP 4 1/2" AT POINT OF PLACEMENT (U.N.O. IF PLASTICIZER IS USED, A HIGHER FINAL SLUMP MAY BE ALLOWED UPON STRUCTURAL ENGINEER'S APPROVAL.

FOR REINFORCING INFORMATION, SEE REINFORCING SECTION OF G.S.N., PLANS, SCHEDULES AND DETAILS.

UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE EMBEDMENT OF CONDUITS, PIPES, SLEEVES, ETC. OF ANY MATERIAL SHALL NOT BE PERMITTED WITHIN ANY CONCRETE STRUCTURAL ELEMENT (IE: COLUMNS, BEAMS, ELEVATED SLABS, ETC.) OR STRUCTURAL CONCRETE TOPPING WITHOUT THE EXPRESSED APPROVAL OF THE STRUCTURAL ENGINEER.

FLY ASH - IF PERMITTED BY ARCHITECTURAL SPECIFICATIONS, SHALL BE LIMITED TO 25% OF TOTAL CEMENTITIOUS MATERIALS BY WEIGHT. FLY ASH SHALL BE INCLUDED IN THE CALCULATION OF W/C RATIOS SPECIFIED ABOVE. FLY ASH ADDITIVES SHALL NOT BE USED ON SLABS WITH A BURNISHED OR ACID FINISH.

TEST DATA FOR EACH CONCRETE MIX SHALL BE SUBMITTED FOR REVIEW PER CHAPTER 5 OF ACI 318. REFERENCE FIGURE R5.3 FOR SUBMITTAL REQUIREMENTS AND OPTIONS. CONCRETE MIX DESIGNS THAT ARE SUBMITTED WITHOUT THE APPROPRIATE TEST DATA CANNOT BE REVIEWED.

SLABS ON GRADE:

MAXIMUM SLUMP WITHOUT PLASTICIZER AT POINT OF PLACEMENT SHALL BE 5 INCHES. MIX DESIGNS SHALL TAKE CARE TO PROVIDE THE LARGEST POSSIBLE SIZE OF COURSE AGGREGATE WHILE MAINTAINING CONCRETE WORKABILITY. NOMINAL MAXIMUM AGGREGATE SIZE SHALL NOT BE LESS THAN 3/4 INCH NOR MORE THAN 1/3 THE DEPTH OF THE SLAB. MIX DESIGNERS SHALL SUBMIT SLAB ON GRADE DESIGNS WITH SHRINKAGE CHARACTERISTICS NOT EXCEEDING 0.00078 IN/IN TO MEET THE REQUIREMENTS OF ACI 308R-06, FIGS.6 FOR TYPICAL CONCRETE. SLABS SHALL BE PLACED ON A FLAT, SMOOTH, FIRM, COMPACTED SUBGRADE.

CONCRETE SHALL BE MIXED, PLACED, FINISHED AND CURED PER LATEST EDITION OF ACI 302.1 FOR THE APPROPRIATE FLOOR CLASS TYPE PER TABLE 1.1 AND SECTION 7. CURING COMPOUND SHALL BE COMPATIBLE WITH ARCHITECTURAL FLOOR FINISH.

SLABS ON GRADE SHALL BE VIBRATED ONLY AT TRENCHES, FLOOR DUCTS, TURNDOWNS, ETC. CAST CLOSURE POUR AROUND COLUMNS AFTER COLUMN DEAD LOAD IS APPLIED. UNLESS APPROVED OTHERWISE IN WRITING BY THE ARCHITECT, ALL CONCRETE SLABS ON GRADE SHALL BE BOUND BY CONTROL JOINTS (CONSTRUCTION OR SAW CUT) PER TYPICAL DETAILS, AS SHOWN ON THE FOUNDATION PLAN, SUCH THAT THE ENCLOSED AREA DOES NOT EXCEED 150 SQUARE FEET. CONSTRUCTION CONTROL JOINTS NEED ONLY OCCUR AT EXPOSED EDGES DURING POURING. ALL OTHER JOINTS MAY BE SAW CUT. SLAB REINFORCING, WHERE SHOWN, SHALL NOT EXTEND MORE THAN 125 FEET WITHOUT STOPPING THE REINFORCEMENT AT A CONTROL JOINT.

VAPOR BARRIER IF REQUIRED BY ARCHITECTURAL SPECIFICATION OR SOILS REPORT SHALL CONSIST OF A MINIMUM 10 MIL MATERIAL LAPPED A MINIMUM OF 6 INCHES AND TAPED PER MANUFACTURER RECOMMENDATIONS. THE BARRIER SHALL BE PLACED ON TOP OF A SMOOTH AND COMPACTED SUBGRADE SURFACE. THE FLOOR SLAB SHALL BE PLACED OVER A FOUR INCH LAYER OF COMPACTED AGGREGATE BASE COURSE ON TOP OF THE VAPOR BARRIER. ANY DAMAGE TO VAPOR BARRIER SHALL BE REPAIRED PRIOR TO AGGREGATE COURSE PLACEMENT. CARE SHALL BE TAKEN TO KEEP MOISTURE AWAY FROM THE COMPACTED SUBBASE. SUBGRADE MUST BE ALLOWED TO DRY AFTER RAINS PRIOR TO SLAB PLACEMENT. FLOOD CURING IS NOT ALLOWED. SAND IS NOT AN ALTERNATIVE FOR THE SUBBASE COURSE.

MASONRY:

GENERAL:

HOLLOW CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, MEDIUM WEIGHT, GRADE N, f'_m = 1,500 PSI, RUNNING BOND, MORTAR TYPE S, 1,900 PSI. GROUT 2,000 PSI. MECHANICALLY VIBRATE GROUT IMMEDIATELY AFTER POURING AND AGAIN 5 TO 10 MINUTES LATER. PROVIDE CLEANOUTS IF GROUT LIFT EXCEEDS 6'-0" IN BLOCK WALLS. MAXIMUM GROUT LIFT SHALL BE 6'-0", WHEN APPROVED BY THE STRUCTURAL ENGINEER AND BUILDING OFFICIAL. GROUT LIFTS MAY BE GREATER THAN 6'-0" IF IT CAN BE DEMONSTRATED BY CONTRACTOR THAT THE GROUT SPACES CAN BE PROPERLY FILLED. FILL CELLS SOLIDLY WITH GROUT IN LIFTS AND STOP POURS 1 1/2" BELOW THE TOP OF A COURSE TO FORM A KEY AT POUR POINTS. UNLESS NOTED OTHERWISE ON THE PLANS, PLACE CONTROL JOINTS IN MASONRY WALLS SUCH THAT NO STRAIGHT RUNS OF WALL EXCEEDS 24'-0". CONTROL JOINTS SHALL NOT OCCUR AT WALL CORNERS, INTERSECTIONS, ENDS, WITHIN 24" OF CONCENTRATED POINTS OF BEARING OR JAMBS, OR OVER OPENINGS UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS. ALL MASONRY BELOW FINISHED FLOOR OR GRADE SHALL BE GROUTED SOLID.

VERTICAL REINFORCING:

1 #5 IN CENTER OF GROUT AT CENTER OF WALL. CONTINUOUS FULL HEIGHT OF WALL AT ALL CORNERS, INTERSECTIONS, WALL ENDS, BEAM BEARINGS, JAMBS, EACH SIDE OF CONTROL JOINTS AND AT INTERVALS NOT TO EXCEED 48" O.C. UNLESS NOTED OTHERWISE. TIE AT 8'-0" VERTICALLY, WITH SINGLE WIRE LOOP TIE BY A.A. WIRE PRODUCTS COMPANY. DOWEL VERTICAL REINFORCING TO FOUNDATION WITH DOWELS TO MATCH VERTICAL REINFORCING.

HORIZONTAL REINFORCING:

2 #5 IN MINIMUM 16" DEEP GROUTED CONTINUOUS BOND BEAM AT ELEVATED FRAMING ASSEMBLIES. 1 #5 IN MINIMUM 8" DEEP GROUTED CONTINUOUS BOND BEAM AT TOP OF PARAPETS AND FREESTANDING WALLS. PLACE THESE BARS CONTINUOUS THRU CONTROL JOINTS PER TYPICAL DETAIL. TO MAINTAIN BOND BEAM CONTINUITY, INSTALL BENT BARS PER TYPICAL DETAILS TO MATCH HORIZONTAL BOND BEAM REINFORCING AT CORNERS AND INTERSECTIONS. STANDARD WEIGHT (NO. 9 GAUGE) WIRE HOHMANN AND BARNARD INC. (OR EQUIVALENT) LADDER TYPE JOINT REINFORCEMENT AT 16" O.C. ALL JOINT REINFORCING SHALL BE EITHER HOT-DIPPED GALVANIZED OR STAINLESS STEEL. FOR INTERIOR WALLS ONLY - JOINT REINFORCING MAY BE MILL GALVANIZED AT CONTRACTORS OPTION.

LAP SPLICES:

LAP SPLICES FOR VERTICAL AND HORIZONTAL REINFORCING SHALL BE PER TYPICAL DETAIL. DO NOT SPLICE WITHIN 8'-0" OF CONTROL JOINTS. LAP HORIZONTAL LADDER TYPE JOINT REINFORCING 12" MINIMUM.

FOR ADDITIONAL REINFORCING INFORMATION, SEE REINFORCING SECTION OF G.S.N., PLANS, SCHEDULES AND DETAILS.

REINFORCING:

ALL REINFORCING PER CRSI SPECIFICATIONS AND HANDBOOK. ASTM A615 (F_y = 60 KSI / GRADE 60) DEFORMED BARS FOR ALL BARS #5 AND LARGER. ASTM A615 (F_y = 40 KSI / GRADE 40) DEFORMED BARS FOR ALL BARS #4 AND SMALLER. WHERE SHOWN ON DRAWINGS ALL GRADE 60 REINFORCING TO BE WELDED SHALL BE ASTM A706. WELDED WIRE FABRIC PER ASTM A185. WIRE PER ASTM A62. NO TACK WELDING OF REINFORCING BARS ALLOWED WITHOUT PRIOR REVIEW OF PROCEDURE WITH THE STRUCTURAL ENGINEER. LATEST ACI CODE AND DETAILING MANUAL APPLY. CLEAR CONCRETE COVERAGES AS FOLLOWS:

CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH..... 3"
EXPOSED TO EARTH OR WEATHER
#6 OR LARGER 2"
#5 AND SMALLER 1 1/2"

FLAT SLAB 3/4"
WALLS SEE SCHEDULE AND/OR DETAILS
PRECAST CONCRETE WALL PANELS SEE PANEL ELEVATION DETAILS
ALL OTHER PER LATEST EDITION OF ACI 318

ALL REINFORCING SHALL BE CHAIRED TO ENSURE PROPER CLEARANCES. SUPPORT OF FOUNDATION REINFORCING MUST PROVIDE ISOLATION FROM MOISTURE CORROSION BY USE OF A PLASTIC OR CONCRETE CHAIR. DUCT-TAPE COVERED REINFORCING IS NOT AN ACCEPTABLE CHAIR.

ALL DIMENSIONS REFERENCED IN DRAWINGS AS "CLEAR" SHALL BE FROM FACE OF STRUCTURE TO EDGE OF REINFORCING, AND SHALL NOT BE LESS THAN STATED, NOR GREATER THAN "CLEAR" DIMENSION PLUS 3/8". ALL OTHERS SHALL BE PLUS OR MINUS 1/4" TYPICAL UNLESS NOTED OTHERWISE.

FIELD BENDING OR STRAIGHTENING OF DEFORMED BARS SHALL BE LIMITED TO #5 BARS AND SMALLER AND SHALL BE FIELD BENT OR STRAIGHTENED ONLY ONCE. ANY BEND SHALL BE LIMITED TO 90 DEGREES. IF FIELD BENDING OR STRAIGHTENING OF #6 BARS OR LARGER IS REQUIRED, OR IF A SECOND BEND IS REQUIRED FOR #5 BARS AND SMALLER, HEAT SHALL BE APPLIED FOR BENDING OR STRAIGHTENING. CONTRACTOR SHALL SUBMIT PROCEDURE FOR APPLYING HEAT TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO BENDING OR STRAIGHTENING BARS.

LAP SPLICES IN CONCRETE:

ALL SPLICE LOCATIONS SUBJECT TO APPROVAL BY THE STRUCTURAL ENGINEER. PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT ALL CORNERS AND INTERSECTIONS PER TYPICAL DETAILS. REINFORCING BAR SPACING GIVEN ARE MAXIMUM ON CENTERS. DOWEL VERTICAL REINFORCING TO FOUNDATION WITH STANDARD 90-DEGREE HOOKS UNLESS NOTED OTHERWISE. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE.

LAP SPLICES, UNLESS NOTED OTHERWISE, SHALL BE CLASS "B" TENSION LAP SPLICES PER LATEST EDITION OF ACI 318. STAGGER SPLICES A MINIMUM OF ONE LAP LENGTH.

LAPS IN WELDED WIRE FABRIC SHALL BE MADE SO THAT THE OVERLAP, MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET, IS NOT LESS THAN THE SPACING OF CROSS WIRES PLUS 2 INCHES.

DRYPACK:

DRYPACK SHALL BE 5,000 PSI NON-SHRINK GROUT, FIVE STAR OR EQUIVALENTS. INSTALL DRYPACK UNDER BEARING PLATES BEFORE FRAMING MEMBER IS INSTALLED. AT COLUMNS, INSTALL DRYPACK UNDER BASE PLATES AFTER COLUMN HAS BEEN PLUMBED BUT PRIOR TO SUPPORTED FRAMING BEING INSTALLED.

STRUCTURAL STEEL:

GENERAL:

ALL CONSTRUCTION PER LATEST AISC HANDBOOK. ALL WIDE FLANGE STEEL SHALL BE ASTM A992 (F_y = 50 KSI). ALL PIPE STEEL SHALL BE ASTM A500 (F_y = 42 KSI) OR ASTM A53, TYPE E OR S, GRADE B (F_y = 35 KSI). ALL TUBE STEEL SHALL BE ASTM A500 (F_y = 46 KSI). ALL MISCELLANEOUS STEEL UNLESS NOTED OTHERWISE SHALL BE ASTM A36 (F_y = 36 KSI). THE TERMS PIPE AND ROUND HOLLOW STRUCTURAL SHAPE (HSS) ARE USED SYNONYMOUSLY THROUGHOUT THESE DOCUMENTS ALONG WITH THE TERMS TUBE STEEL AND RECTANGULAR OR SQUARE HSS.

ALL STRUCTURAL ROLLED STEEL MEMBERS WITH F_y GREATER THAN 36 KSI ARE TO BE IDENTIFIED WITH AN ASTM SPECIFICATION MARK OR TAG PER IBC SEC. 2203.1.

UNLESS NOTED OTHERWISE, ALL BOLTS SHALL BE ASTM A307. ALL BOLTS SHALL BE INSTALLED WITH STEEL WASHERS AT SHORT SLOTTED HOLES USING SNUG TIGHT INSTALLATION, UNLESS NOTED OTHERWISE.

EXPANSION AND EPOXY ANCHORS:

ALL EXPANSIVE ANCHORAGE FOR CONCRETE INSTALLATION ONLY SHALL BE PER SIMPSON "STRONG-BOLT" WEDGE ANCHOR (ICC ESR-1771) OR APPROVED EQUIVALENT. ALL EXPANSIVE ANCHORAGE FOR MASONRY INSTALLATION ONLY SHALL BE PER SIMPSON "WEDGE-ALL" ANCHOR (ICC ESR-1398) OR APPROVED EQUIVALENT. ALL ADHESIVE (EPOXY) ANCHORAGE FOR CONCRETE SHALL BE PER SIMPSON "SET-XP" SYSTEM WITH DUAL SIDE BY SIDE CARTRIDGES (ICC ESR-2508) OR APPROVED EQUIVALENT. ALL ADHESIVE (EPOXY) ANCHORAGE FOR MASONRY SHALL BE PER SIMPSON "SET" SYSTEM WITH DUAL SIDE BY SIDE CARTRIDGES (ICC ESR-1772) OR APPROVED EQUIVALENT. ALL ANCHORS SHALL BE INSTALLED WITH STEEL WASHERS AT SHORT SLOTTED HOLES USING SNUG TIGHT INSTALLATION UNLESS NOTED OTHERWISE.

STEEL ERECTION NOTE:

PER OSHA, STEEL MEMBERS AND DIAGONAL BRACING CANNOT BE RELEASED FROM HOISTING CABLES UNTIL ALL BOLTS OR WELDS AT MEMBER ENDS ARE COMPLETE.

WELDING:

UNLESS NOTED OTHERWISE, ALL WELDS PER LATEST EDITION OF THE AWS STANDARDS. ALL WELDING SHALL BE PERFORMED BY WELDERS HOLDING VALID CERTIFICATES AND HAVING CURRENT EXPERIENCE IN THE TYPE OF WELD SHOWN ON THE DRAWINGS OR NOTES. CERTIFICATES SHALL BE THOSE ISSUED BY AN ACCEPTED TESTING AGENCY. ALL WELDING DONE BY E70 SERIES LOW HYDROGEN RODS UNLESS NOTED OTHERWISE. FOR GRADE 60 REINFORCING BARS, USE E90 SERIES. THESE DRAWINGS DO NOT DISTINGUISH BETWEEN SHOP AND FIELD WELDS; THE CONTRACTOR MAY SHOP WELD OR FIELD WELD AT THEIR DISCRETION. SHOP WELDS AND FIELD WELDS SHALL BE SHOWN ON THE SHOP DRAWINGS SUBMITTED FOR REVIEW.

HIGH STRENGTH HEADED STUDS SHALL BE AUTOMATIC WELDED CONFORMING TO ALL REQUIREMENTS OF THE LATEST EDITION OF THE "RECOMMENDED PRACTICES FOR STUD WELDING", CONFORMANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL QUALITY CONTROL TESTING PROVISIONS OF THE AFOREMENTIONED PUBLICATIONS.

SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS. CONTRACTOR SHALL PROVIDE A MINIMUM OF 2 HARD COPY SUBMITTAL SETS OF EACH ITEM TO ARCHITECT FOR REVIEW, UNLESS NOTED OTHERWISE. ELECTRONIC SUBMITTALS ARE NOT ACCEPTABLE.

THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTAL. ITEMS NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS SHALL BE FLAGGED UPON CONTRACTOR'S REVIEW.

VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS.

MANUFACTURER OR FABRICATOR SHALL CLOUD ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM CONTRACT DOCUMENTS. ANY OF THE AFOREMENTIONED WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES, SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW, UNLESS NOTED ACCORDINGLY.

THE ARCHITECT HAS THE RIGHT TO APPROVE OR DISAPPROVE ANY CHANGES TO CONTRACT DOCUMENTS AT ANYTIME BEFORE OR AFTER SHOP DRAWING REVIEW.

THE SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN INCORRECTLY AND ARE NOT FLAGGED BY THE STRUCTURAL ENGINEER OR ARCHITECT SHALL NOT BE CONSIDERED CHANGES TO CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ITEMS ARE CONSTRUCTED TO CONTRACT DOCUMENTS.

THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING AUTHORITY.

REVIEWING IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR.